

## 434 KING STREET WEST, HAMILTON



LYRICAL INVESTMENTS INC.



CITY OF HAMILTON  
DESIGN REVIEW PANEL  
JULY 19, 2019

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## I. BACKGROUND



By the 1920's, the City of Hamilton recovering from the hardships of World War I was in full expansion. It was then that the industrial production, construction and educational programs were in full swing. In 1930, this vibrant City hosted an inaugural Empire Games inviting athletes from across the British Empire to compete. Unfortunately, the Great Depression hit the City hard. The rapid decline in domestic consumption and international trade put stop construction. The City needed some emotional relief in the form of entertainment and Kenmore Theatre located at 434 King Street West was there to provide such relief.

Designed by Herbert G. Duerr and originally built circa 1924, the 2-storey, red brick faced theatre building became a friendly gathering place and provided much needed and affordable diversion.

The structure was built by use of concrete posts filled in between with hollow clay blocks reinforced by steel rods and filled with mortar. The wall was then clad by a 4" red brick veneer

*1956 view of the building*



In 1954 CHCH-TV 11 began broadcasting from the location of Kenmore Theatre. From the early 1960's through to the mid 1980's, the building was well known throughout Hamilton as the home of the CHCH-TV Telecentre. From this location, many well-known original programs were produced, including The Party Game, The Pierre Berton Show, Smith & Smith, The Red Green Show, Tiny Talent Time, and cult classic The Hilarious House of Frightenstein among others.

Some time in the 1950's, the façade' original brick veneer was entirely replaced. The old entrance with its ticket booth was also removed.





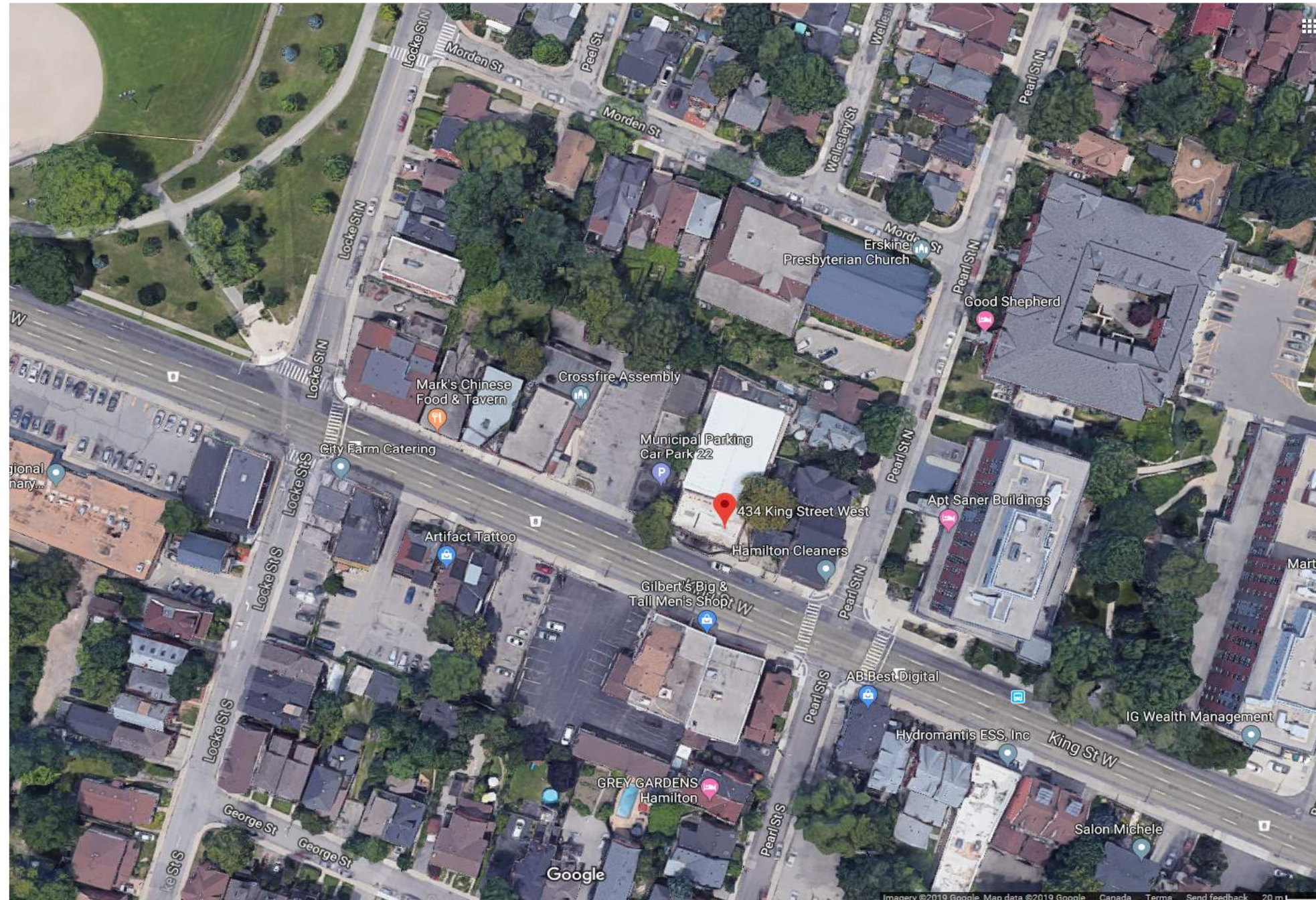
In more recent years the space was used for live entertainment by Westside Concert Theatre. Their activity however was slowed down and then in 2008 halted by inability to obtain liquor licence. The building has been then used by the Festival of Friends administration office and by Lyric Theatre, to finally close its doors in 2014 due to roof problem and general disrepair.

Over the years, the façade of the building has been painted many times. All architectural features like lintels above the windows were removed or covered by paint.

The renovation of the theatre will not only bring new life to the area but will also entice further revitalization of the community

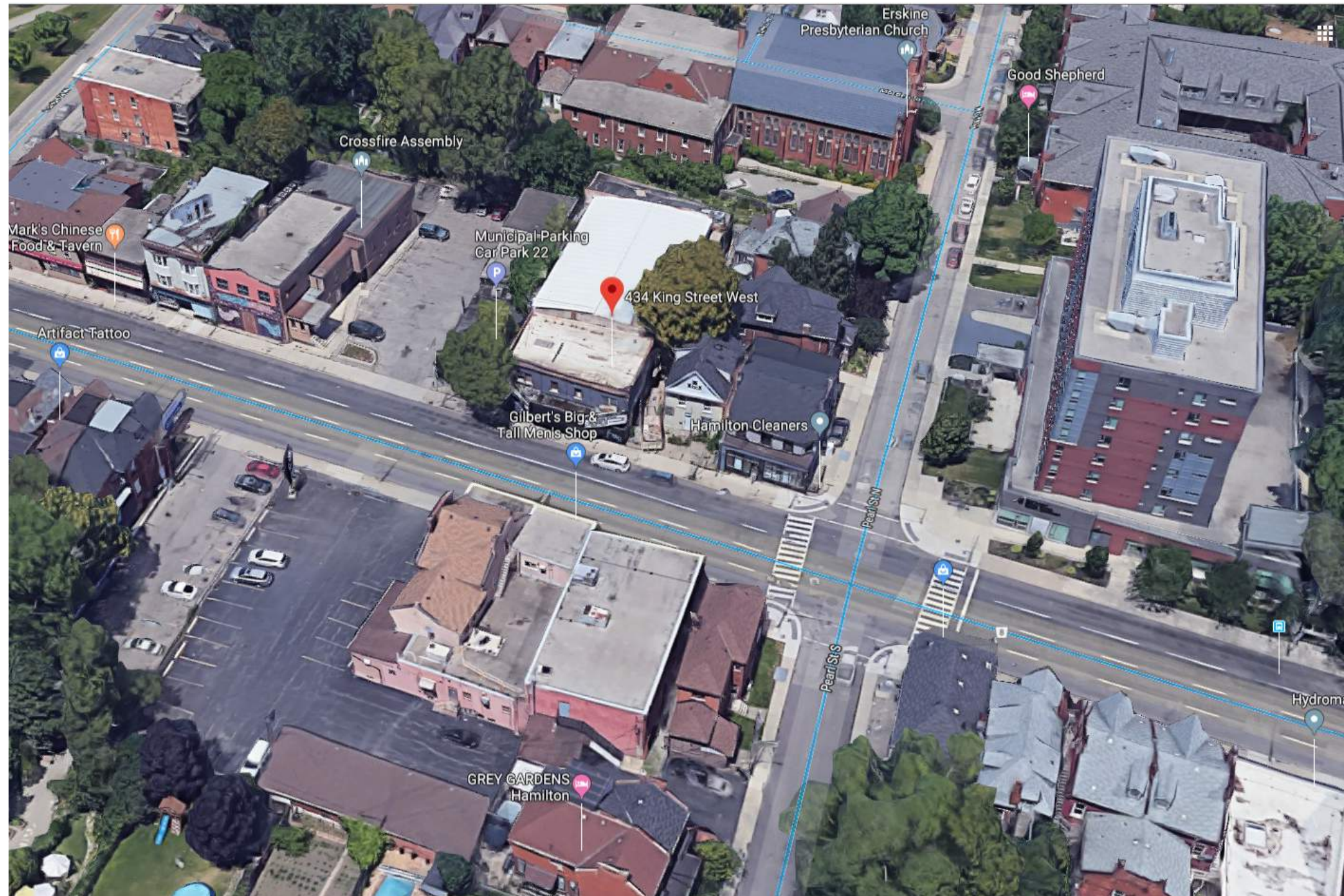


## 2. LOCATION



The subject building is located at 434 King Street West, on the north side of King Street West between Locke Street North and Pearl Street North, a short walking distance to Victoria Park and Central Park and only 8 minutes drive to the Pier 4 Park in the City of Hamilton

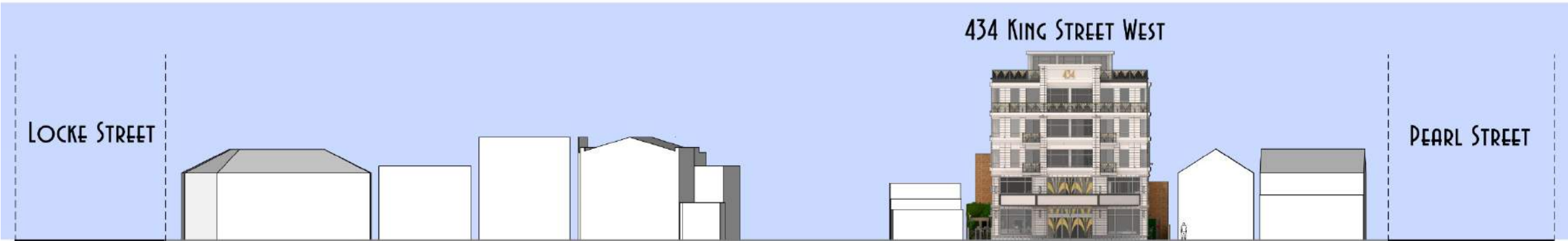
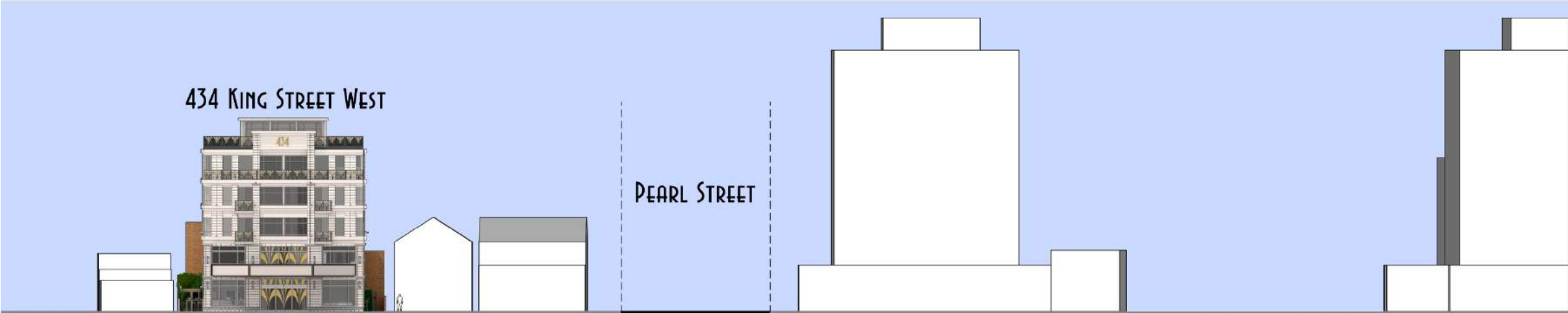




The area is populated with mostly masonry building varying in height from 2-4 storeys. Typically, these buildings have a commercial component at the 1<sup>st</sup> floor with residences above. Across Pearl Street N, to the east of the project, there is an 8-storey residential building. Within the same block there are also two churches and a municipal parking lot.



NEIGHBOURHOOD CONTEXT ELEVATIONS



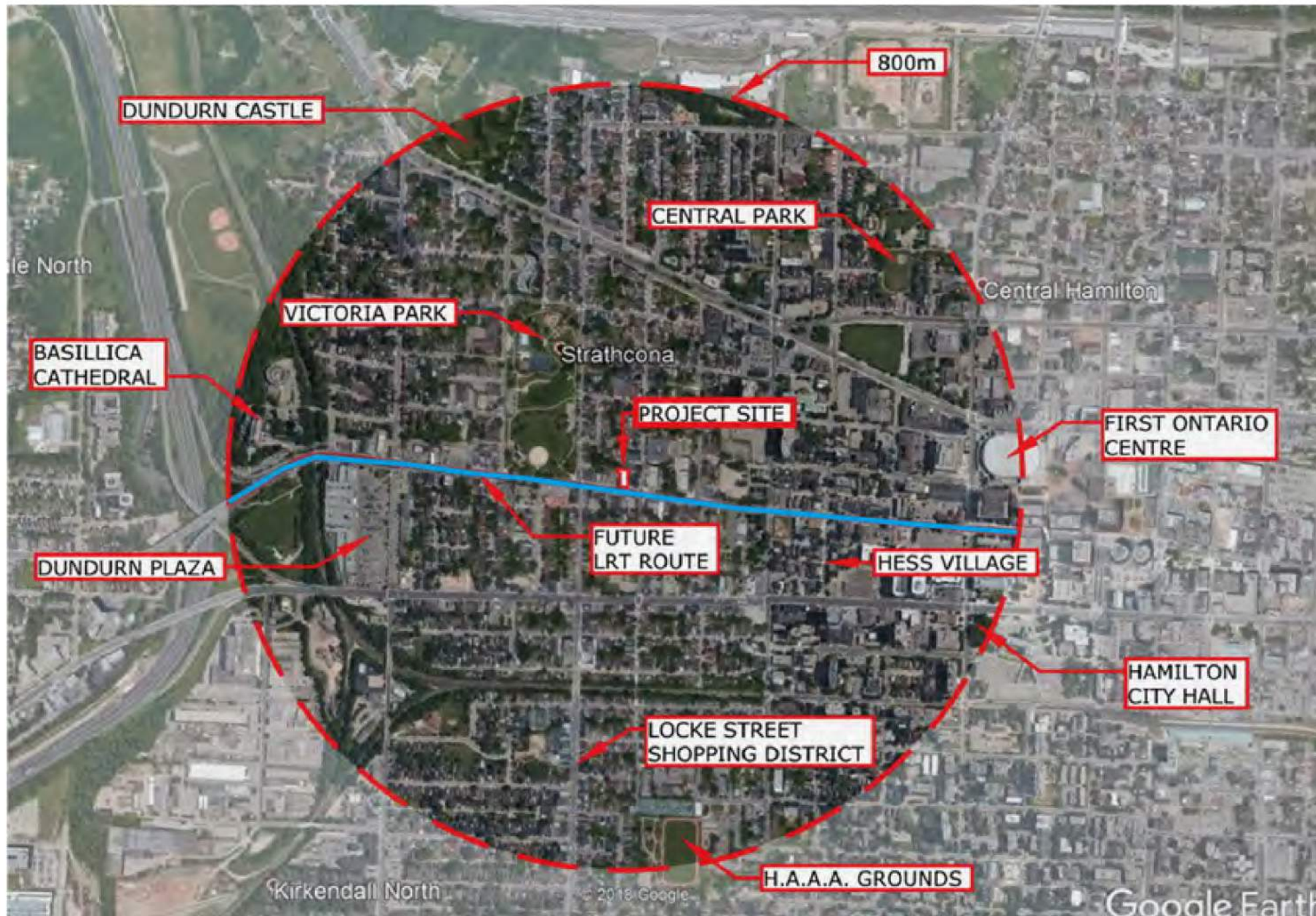




King Street West is currently a wide, 4-lane arterial road leading from Downtown Hamilton to the 403 Hwy and westerly suburbs.

In the near future, construction will begin on the first phase B-Line LRT of Hamilton's new BLAST mass transit system. The LRT project scope includes replacing the entire Right-Of-Way including street, sidewalks, and services, converting this stretch to a 2-way pedestrian and transit focused, multi-modal corridor.





The 800m radius is marking the immediate context in which the project of Lyric Theatre is located.

There is a variety of attractions and services in the area, such as:

- Hamilton City Hall;
- First Ontario Centre;
- Shopping facilities like Dundurn Plaza and Locke Street Shopping District;
- Restaurant hub at Hess Village;
- Central Park, Victoria Park and the eldest Hamilton sport park – H.A.A.A. Grounds

All within easy walking distance of the B-Line LRT, scheduled to open in 2024



3. HAMILTON LIGHT RAIL TRANSIT



The Hamilton Light Rail Transit System is part of the larger infrastructure renewal programme for the City.

It will consist of 5 rapid transit corridors. One of them being the B-Line LRT planned for the Main, King, Queenston corridor linking McMaster University to Eastgate Square. The construction of the B-Line LRT corridor is scheduled to be completed by 2024.

The introduction of the improved public transportation in the West End of the city will encourage revitalization of this area and will stimulate the growth of business, gastronomy and entertainment.

The Lyric Theatre’ building is located next to the proposed Queen Street Stop of the LRT, making it very easily accessible by public transportation.



4. ZONING CONSIDERATION



The Lyric Theatre project is governed by Hamilton Zoning By-Law 05-200 with the Transit Oriented Corridor (TOC1) Exceptions 290.

The project conforms to the by-law in general, with some non-conforming elements.

4.1 Minimum Interior Side Yard – The property abuts residential uses on the easterly side and the setback is variable from 0-2.18m. The existing building has been on the site since 1924 and is touching the property lines on the rear and east sides. As we are not rebuilding but restoring the existing structure, the setback requirements cannot be met.

4.2 The subject property contains no parking. For the Commercial GFA there is no parking required, however the six new residential units would require 3 new parking spaces. The site conditions are not providing for such a space. The future residents of the complex will be mostly single professionals working in the same building who would not need to commute. Also, the new Light Rail Transit will ease the access to the Lyric Theatre. The project already allows for three long term and 5 short-term bicycle spaces. (Refer to Site Plan)

4.3 The items that do not conform to the zoning by-law will be addressed in the application for Minor Variance



## 5. THE DESIGN

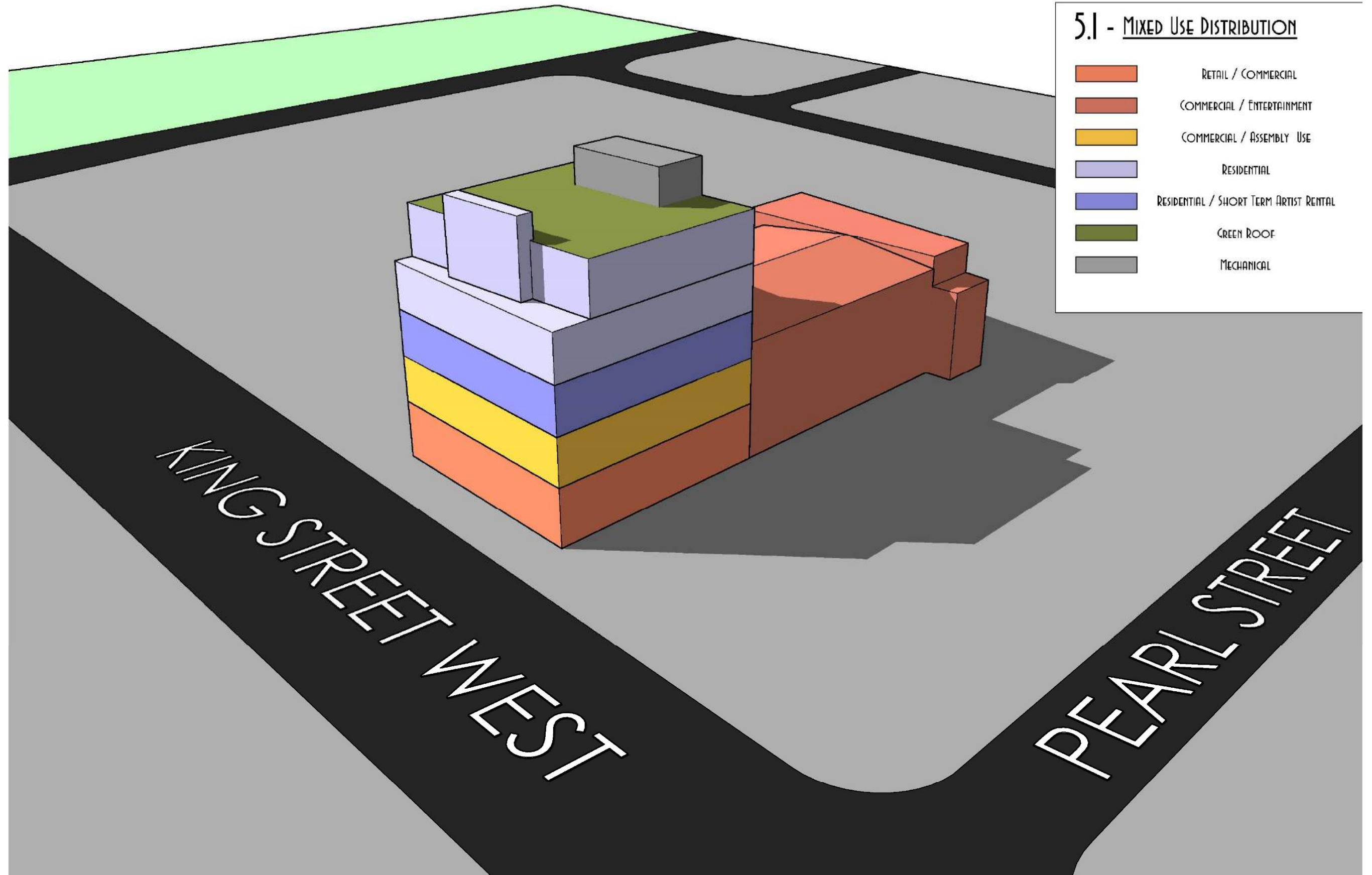


Although the existing theatre building at 434 King Street West inventoried as a building of heritage interest by the City of Hamilton, none of the original features of the front elevation survived, therefore there is no historical value to the existing facade. The real historical value of this building lays in the fact that for nearly a century, it has continuously served as an entertainment venue and it is important to continue this tradition. The proposed design decision is to give the building a fresh look reminiscent of the “Roaring 20’s” with Art-Deco elements which were so popular at the time in entertainment districts across the continent and instead of reviving the grim time of the Great Depression era of the 1930’s, we determined that a new sandstone facade, Art-Deco motif etched glazing and lighting fixtures, would make the building appear inviting to both the public and the residents.

We are proposing a renovation of the existing 2-storey theatre building and adding to it three new residential levels above the front part of the structure. While the side and back elevations of the existing building will remain unchanged, we are changing cladding on the south elevation and will continue same cladding on all new elevations on levels 3-5.

- The Existing First Floor – front space will contain commercial and retail, with partial interconnected basement and bistro facility. The Main Entrance to the Lobby and to the Theatre will feature large etched glass door with Art-deco motif.
- The Existing Second Floor – Assembly Use, commercial multi-purpose space of 1,129 sq. ft. with capacity of 100 people and sufficient washroom facility.
- The New Third Floor Addition – Residential with three studio apartments.
- New Fourth and Fifth Floors Addition – Residential containing three new loft apartments with access to the Green Roof and Mechanical Penthouse.
- The new 3<sup>rd</sup>, 4<sup>th</sup> and 5<sup>th</sup> Floor apartments of variable GFA will provide residences for the Theatre Staff.

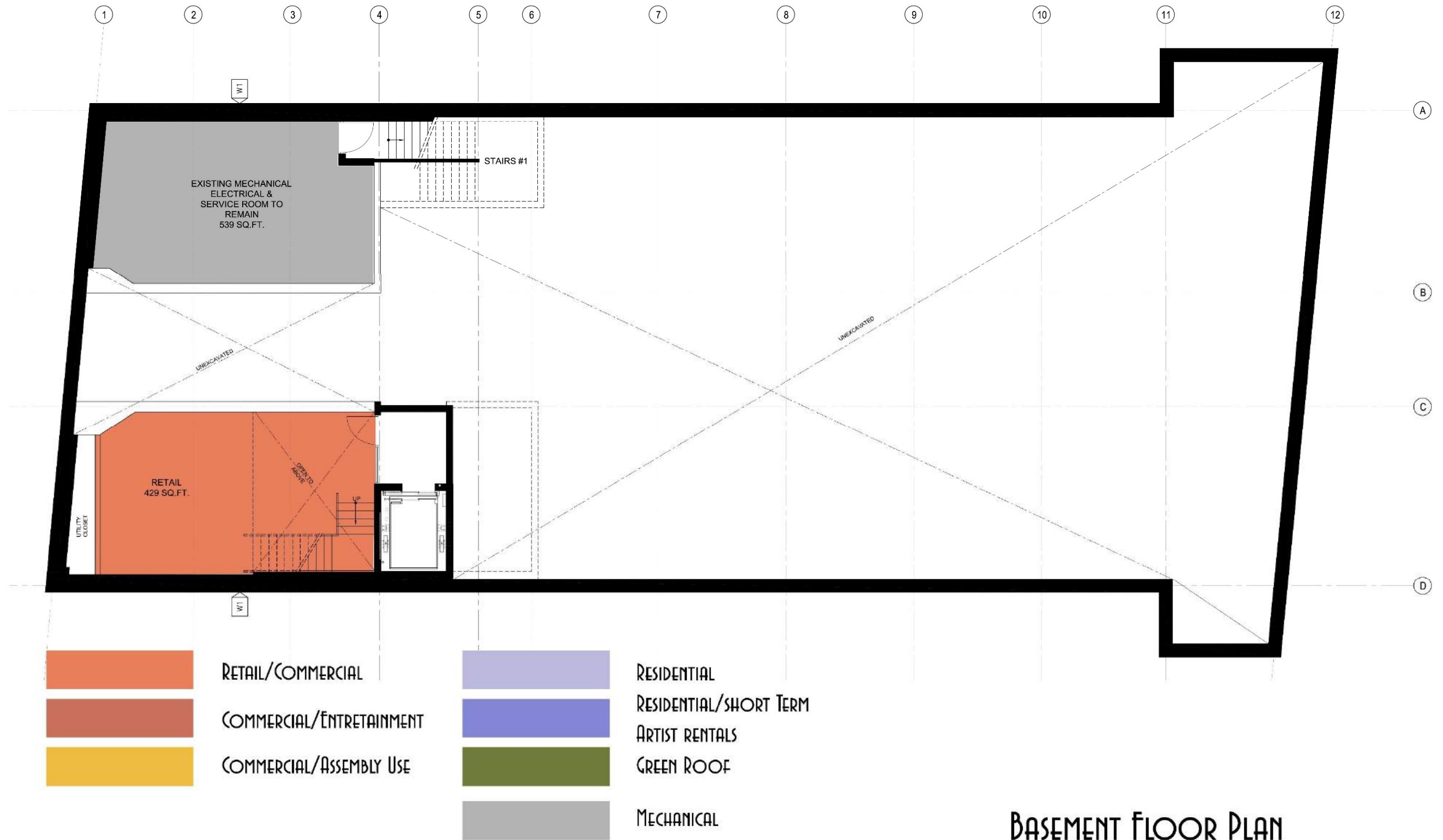






# 5.2. FLOOR PLANS












**BASEMENT FLOOR PLAN**
















	RETAIL/COMMERCIAL		RESIDENTIAL
	COMMERCIAL/ENTERTAINMENT		RESIDENTIAL/SHORT TERM
	COMMERCIAL/ASSEMBLY USE		ARTIST RENTALS
			GREEN ROOF
			MECHANICAL

2ND FLOOR PLAN

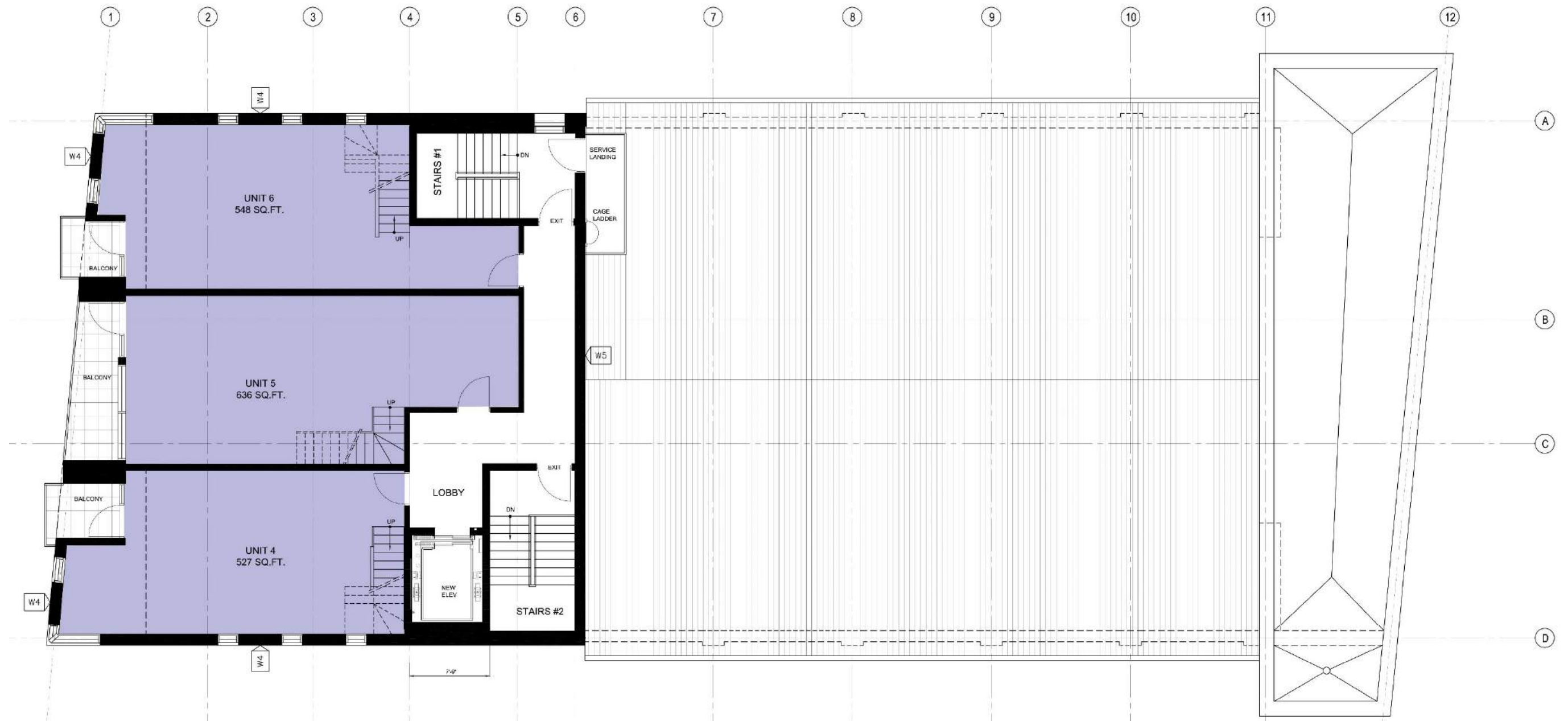











- |                                                                                     |                           |                                                                                       |                                          |
|-------------------------------------------------------------------------------------|---------------------------|---------------------------------------------------------------------------------------|------------------------------------------|
|  | RETAIL/COMMERCIAL         |  | RESIDENTIAL                              |
|  | COMMERCIAL/ENTRETAINTMENT |  | RESIDENTIAL/SHORT TERM<br>ARTIST RENTALS |
|  | COMMERCIAL/ASSEMBLY USE   |  | GREEN ROOF                               |
|                                                                                     |                           |  | MECHANICAL                               |

3RD FLOOR PLAN

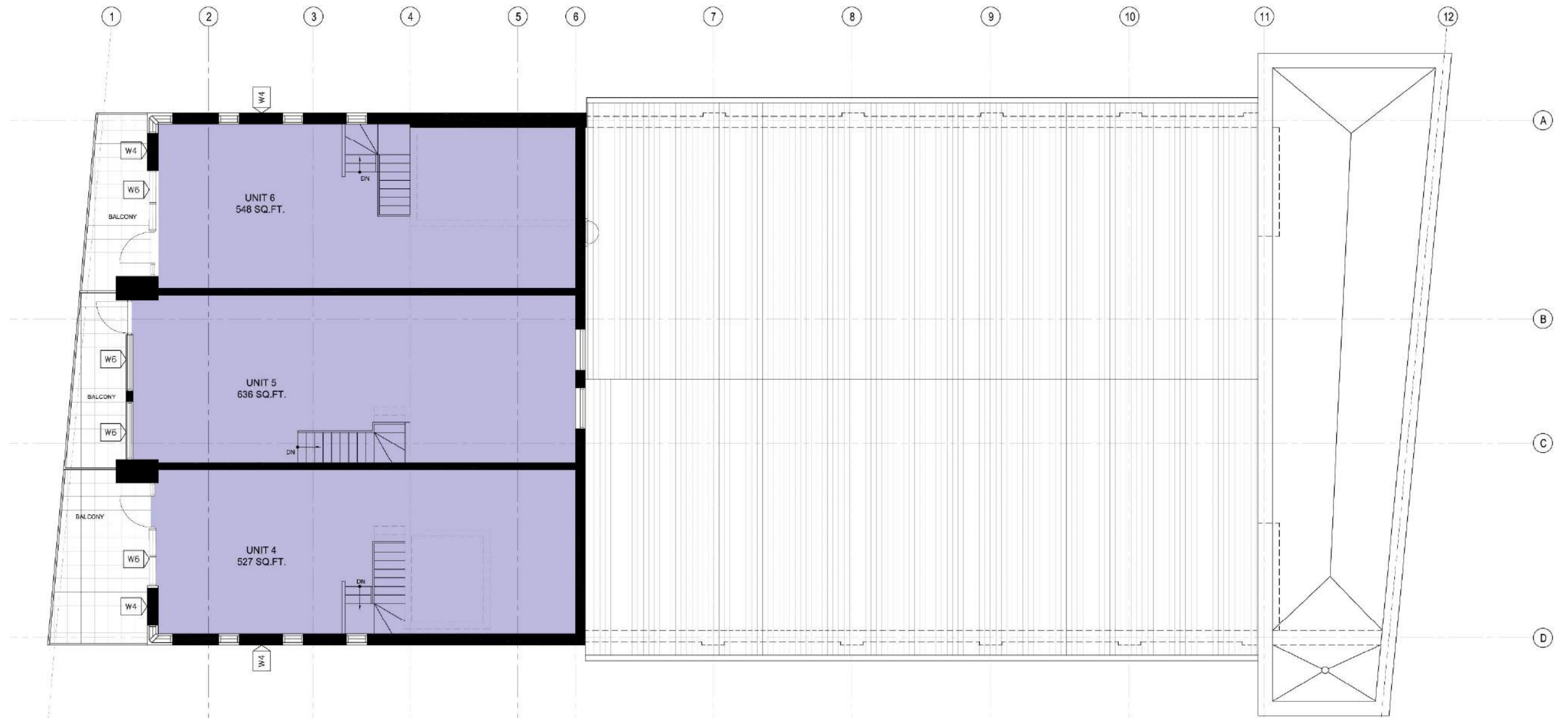




	RETAIL/COMMERCIAL		RESIDENTIAL
	COMMERCIAL/ENTRETAINMENT		RESIDENTIAL/SHORT TERM ARTIST RENTALS
	COMMERCIAL/ASSEMBLY USE		GREEN ROOF
			MECHANICAL

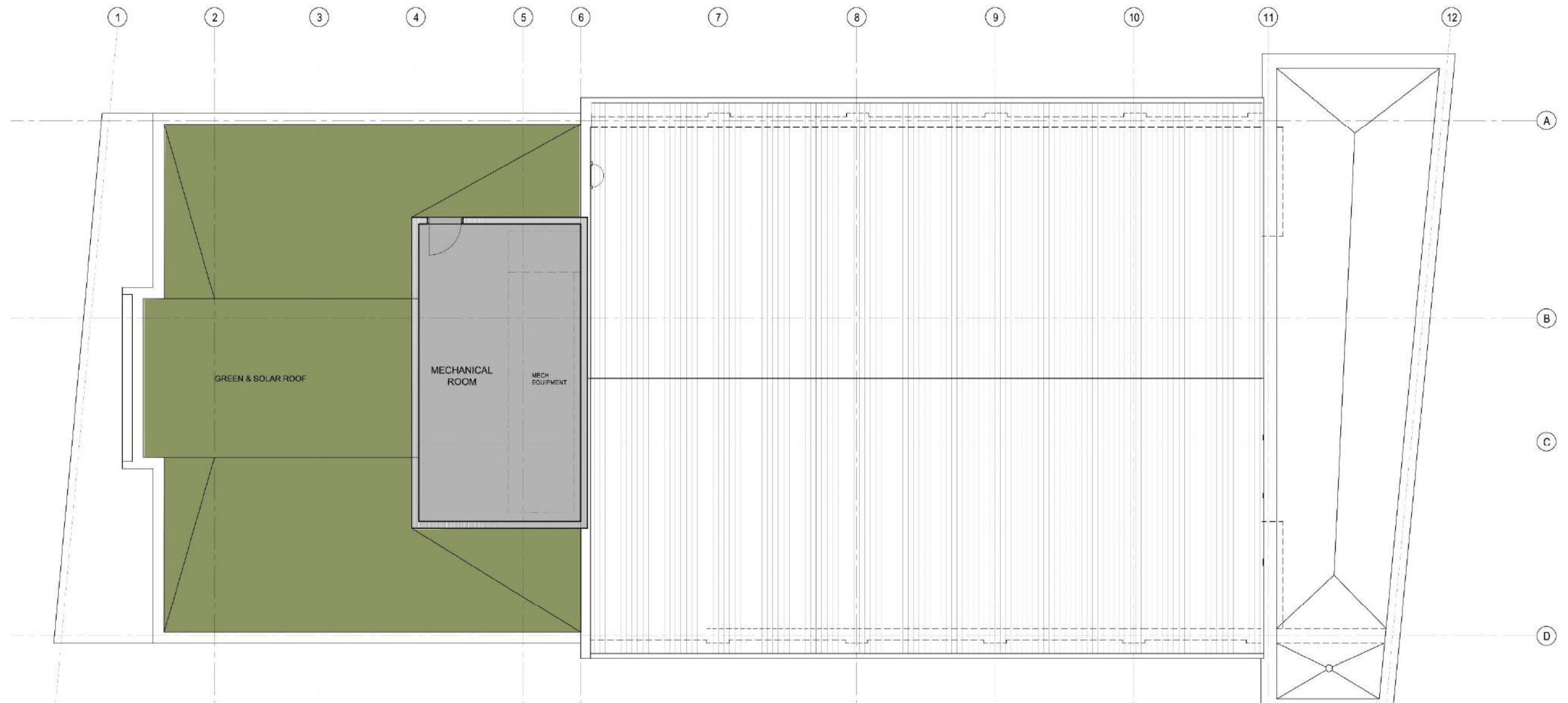
4TH FLOOR PLAN












5TH FLOOR PLAN





	RETAIL/COMMERCIAL		RESIDENTIAL
	COMMERCIAL/ENTRETAINMENT		RESIDENTIAL/SHORT TERM ARTIST RENTALS
	COMMERCIAL/ASSEMBLY USE		GREEN ROOF
			MECHANICAL

ROOF PLAN





### 5.3 ELEVATIONS

The proposed design is giving the Front Elevation a balanced, symmetrical look with coved pilasters to add depth and to emphasise the lighting. We are proposing to cover the 1950's brick finish with new sandstone veneer rainscreen system. This new cladding will be positioned on top of 16" concrete block base, to protect the new façade from salt. The existing walls on the remaining elevation will stay unchanged, the new cladding will be installed on the residential part of the building, only.











23-0217-08

Background: The Lyric Theatre is a multi-story building located at the intersection of King Street West and Pearl Street in Hamilton, Ontario. The building is a mix of modern and traditional architectural styles, featuring large windows, balconies, and a mix of materials including light-colored stone or concrete and dark cladding. The building is situated on a city street corner, with a parking lot and other urban structures visible in the background.

VIEW FROM SOUTH-WEST







SOUTH ELEVATION



EAST ELEVATION





WEST ELEVATION



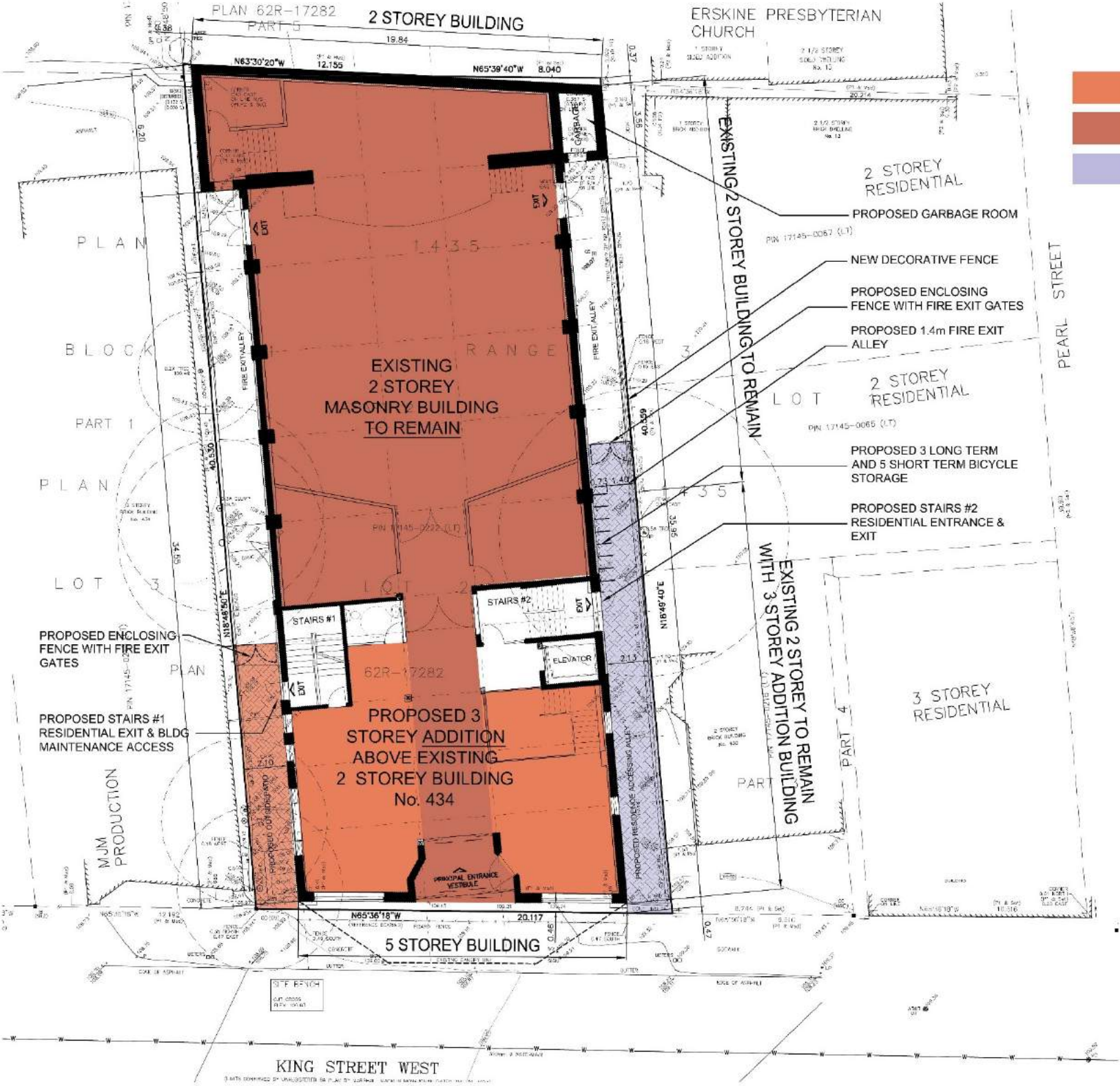
5.4 THE SITE PLAN

The Lyric Theatre stands on an irregular parcel of land with 20.1m of King Street frontage and 40.1 m of depth. On the east side it neighbours with three 2-3-storey residential properties, on the west side there is a commercial property and a Presbyterian church at the back. The side setbacks vary from 0 to 2.1m.

- The East Alley – provides Fire Exit, access to the proposed residential entrance through stairs #2 and storage for bicycles (3 long term and 5 short term).
- The West Alley provides Fire Exit, proposed access to the residential exit and building maintenance access, as well as a proposed outside patio to accommodate patrons of the proposed bistro.
- 

SITE STATISTICS

LAND AREA	815.2 M2 (0.815 HA)	100%
EXISTING BUILDING COVERAGE	652.4 M2	80%
TOTAL BUILDING CFA	1,380 M2	
PAVED & LANDSCAPED AREA	162.8 M2	20%
ZONING	TOCI, EXCEPTION 290	







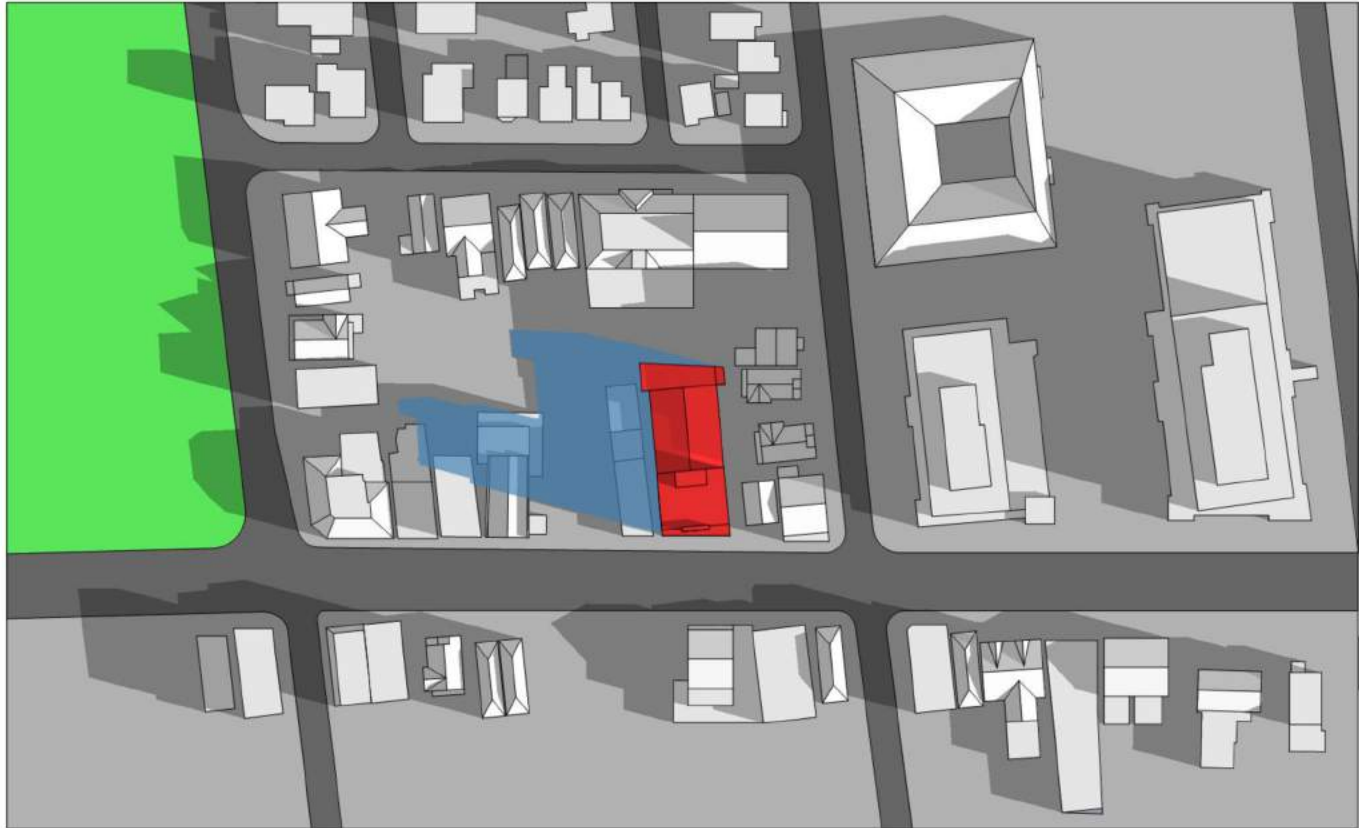
WEST SIDE RETAIL UNIT WITH PATIO DOORS



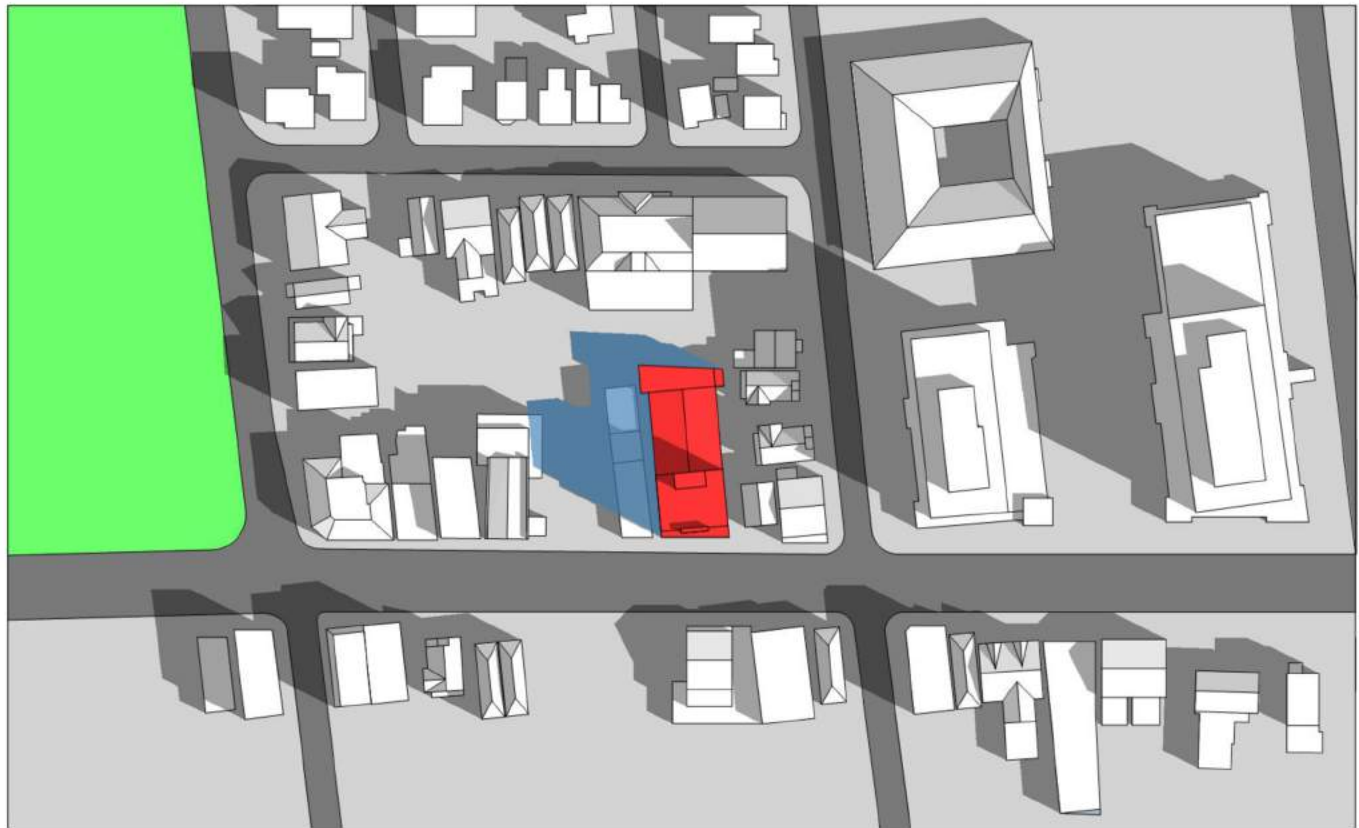
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MARCH 21



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9:51 AM



10:51 AM



11:51 AM

MARCH 21



12:51 PM



1:51 PM



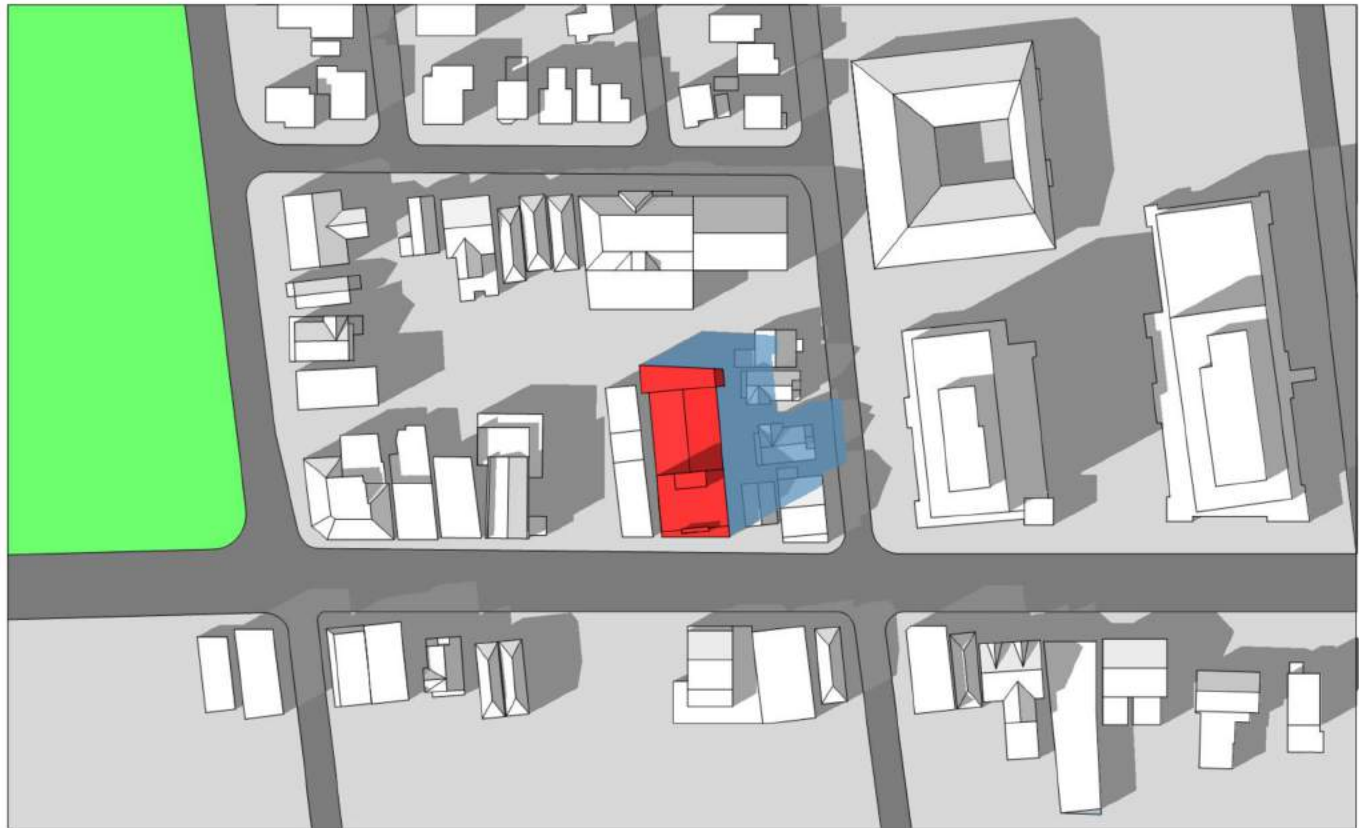
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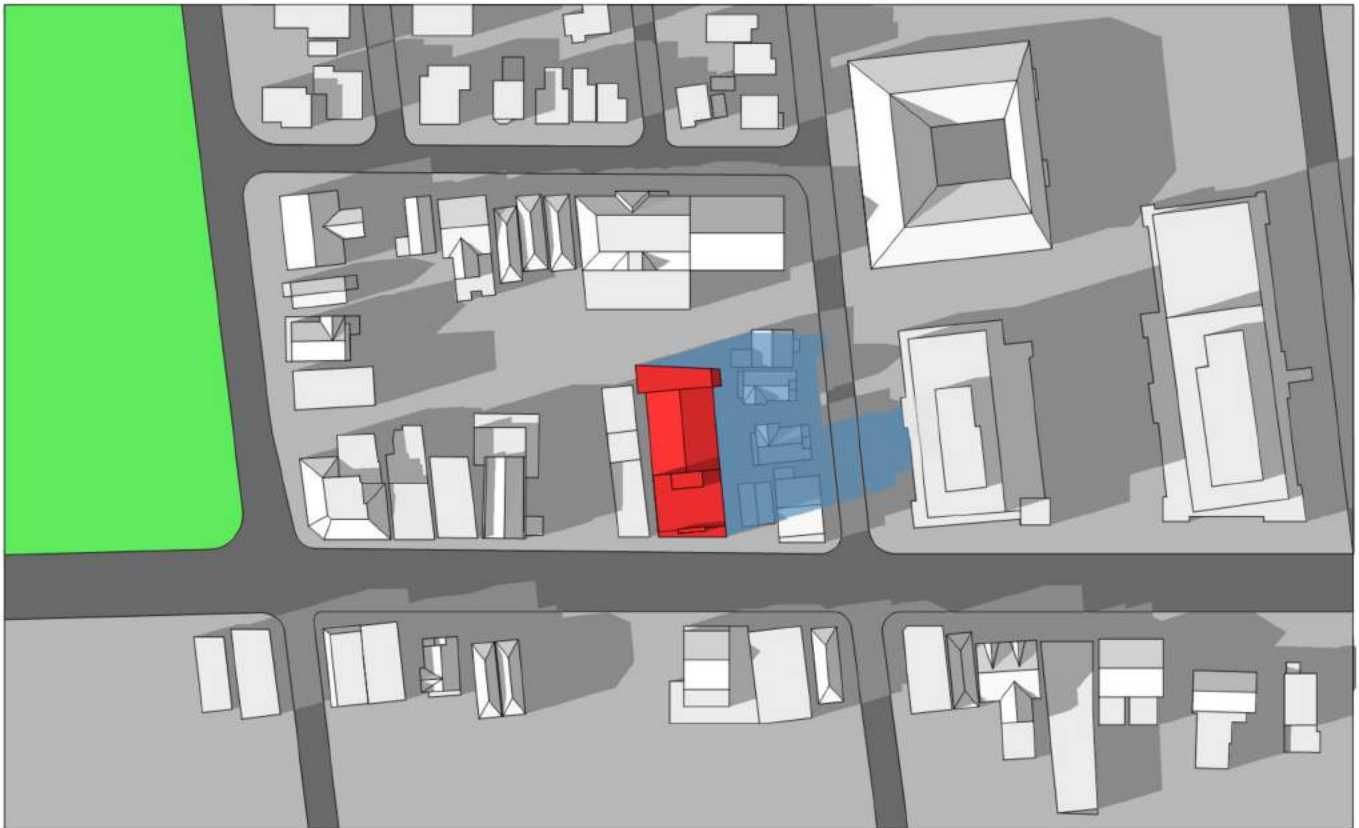
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MARCH 21

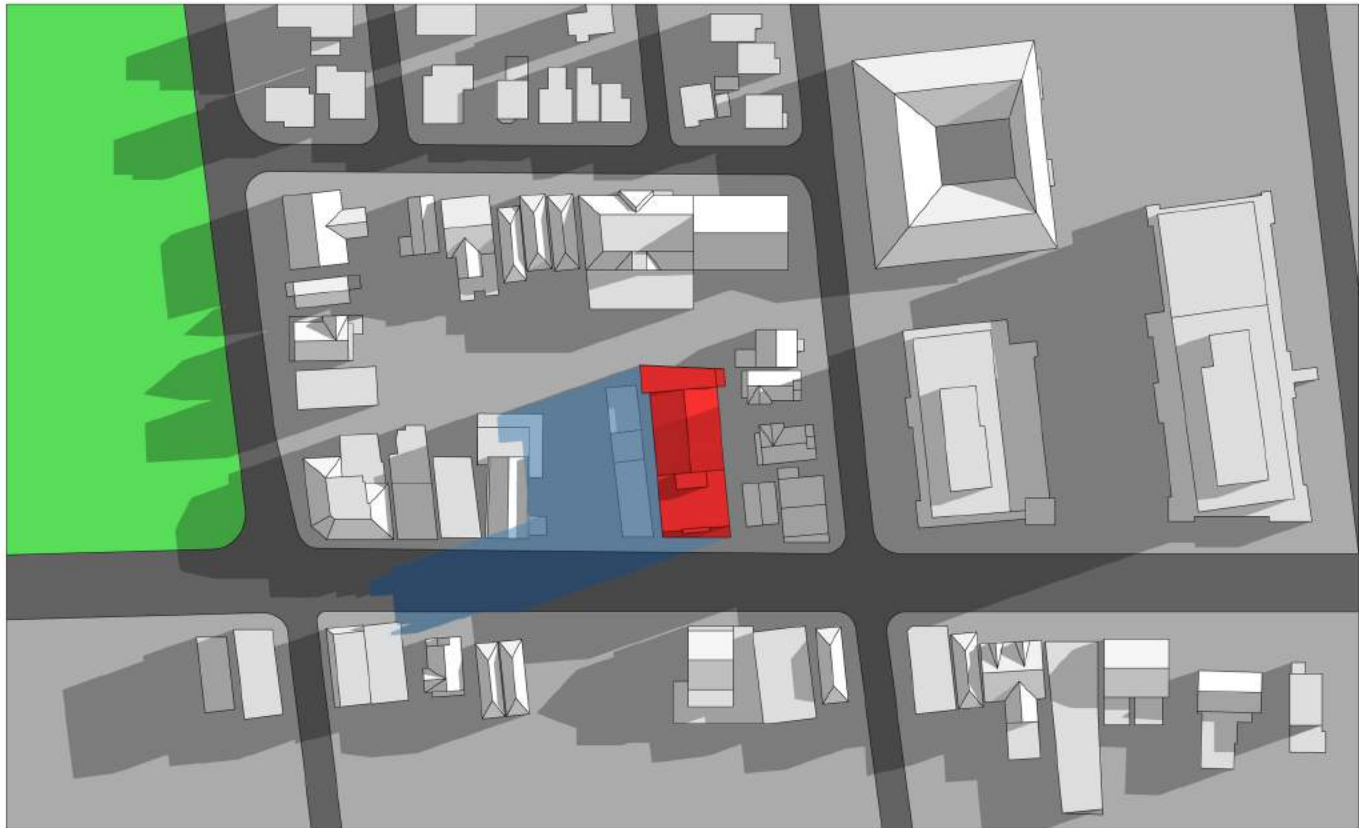


4:51 PM



5:51 PM

JUNE 21



7:09 AM



8:09 AM



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JUNE 21



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JUNE 21



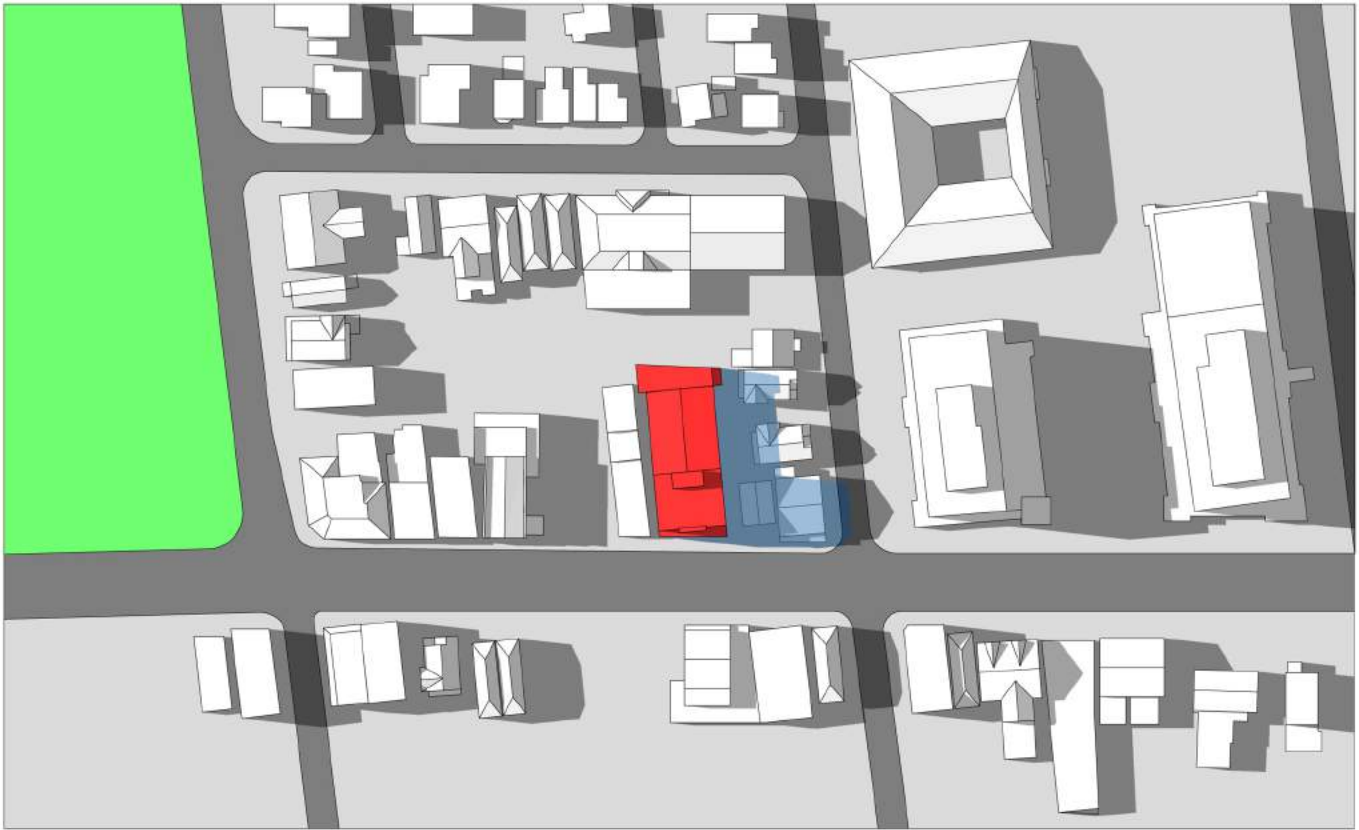
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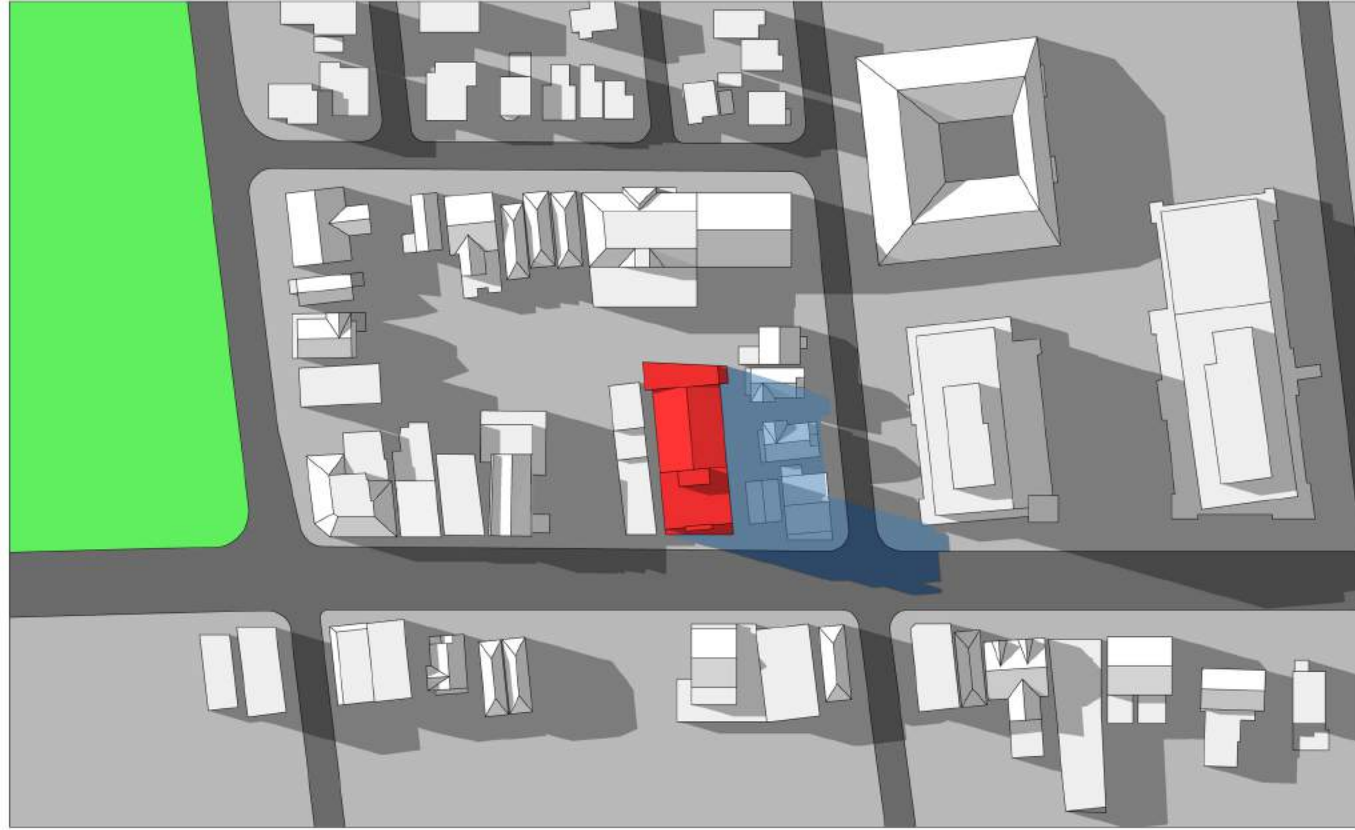
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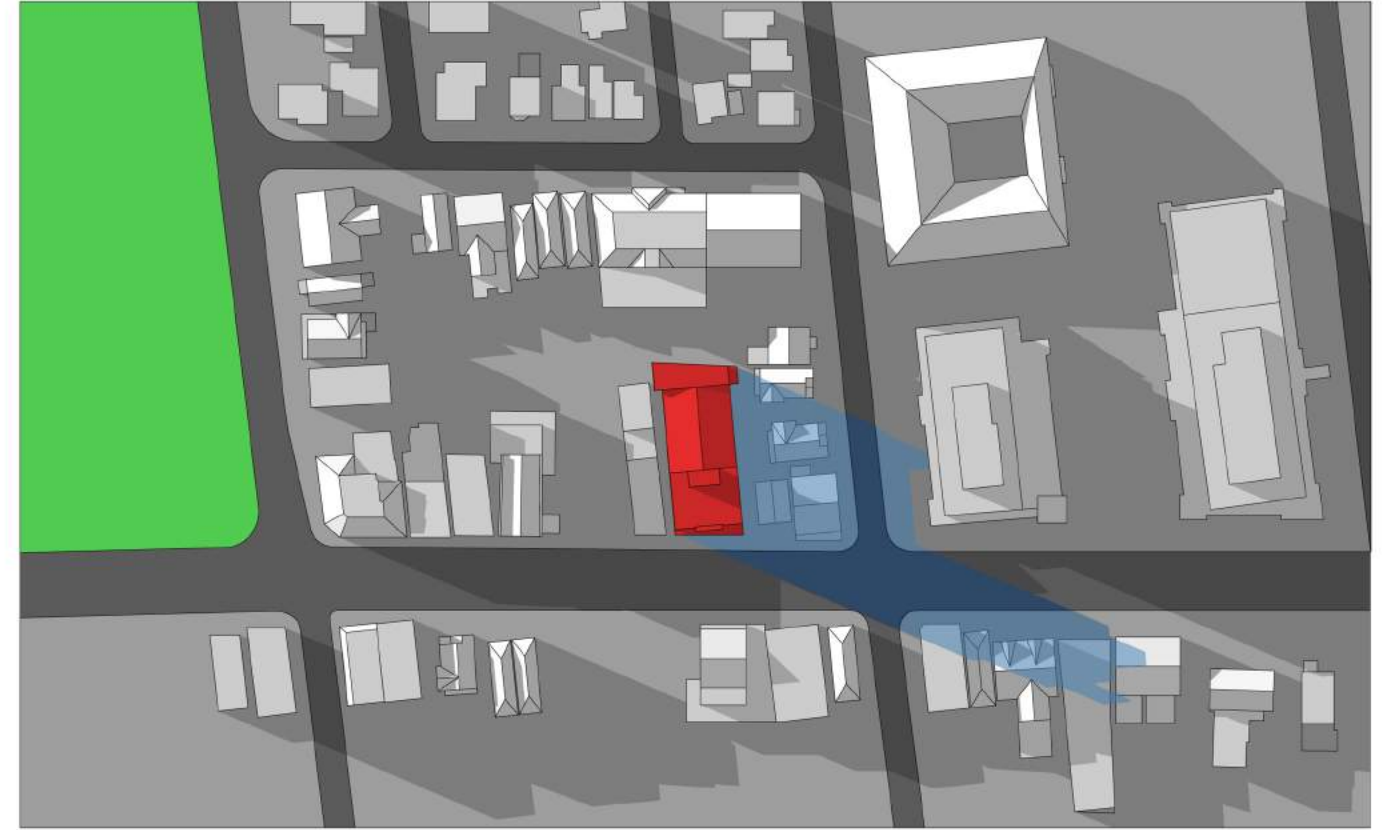
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JUNE 21

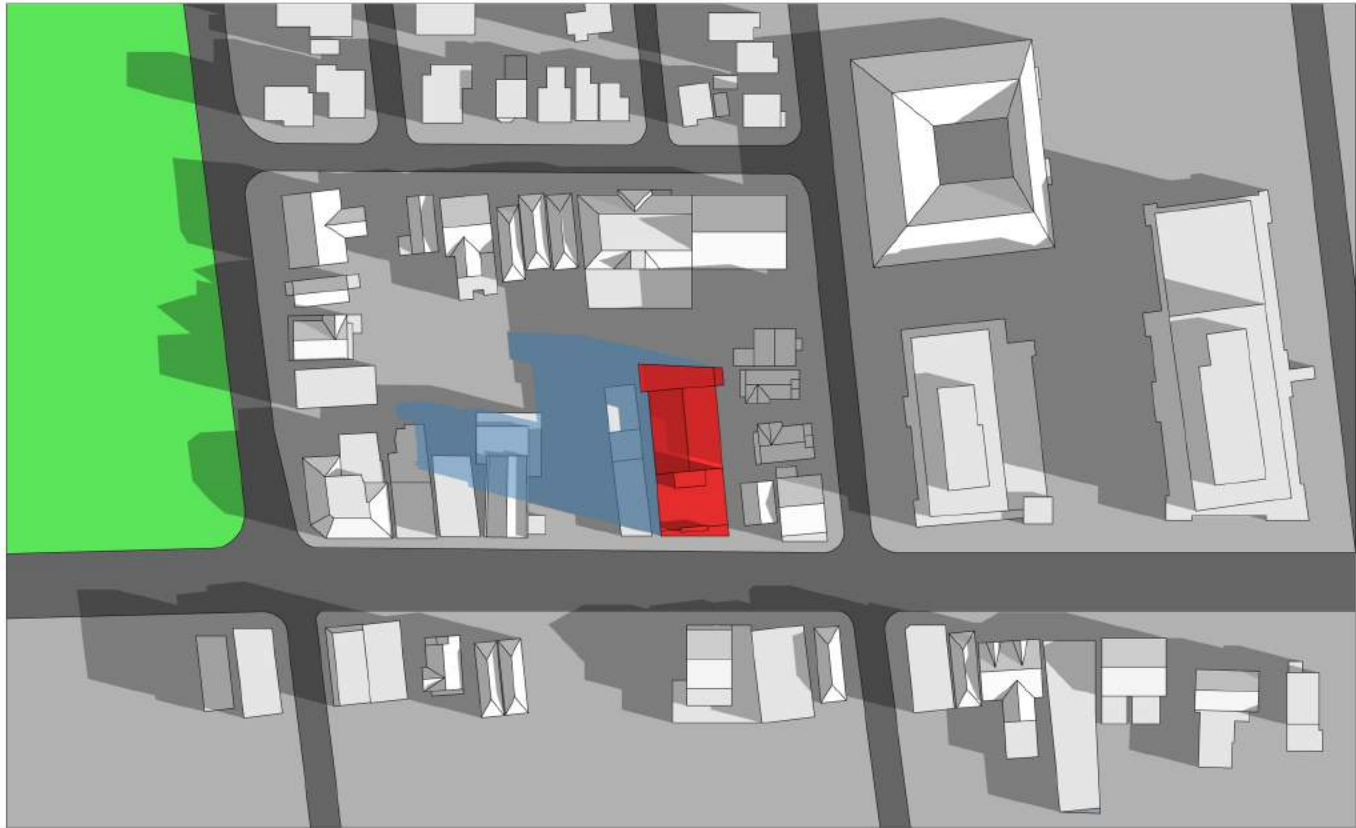


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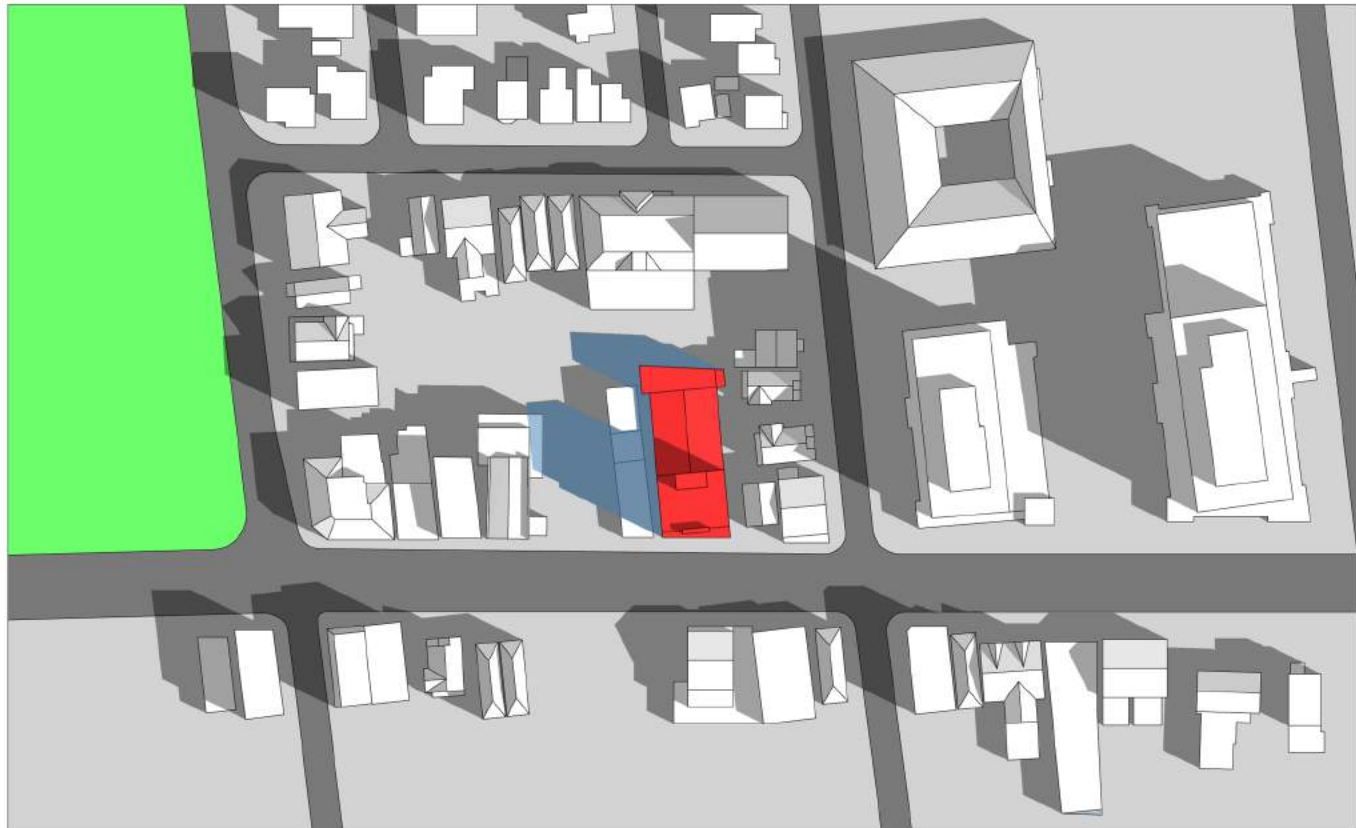


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SEPTEMBER 21



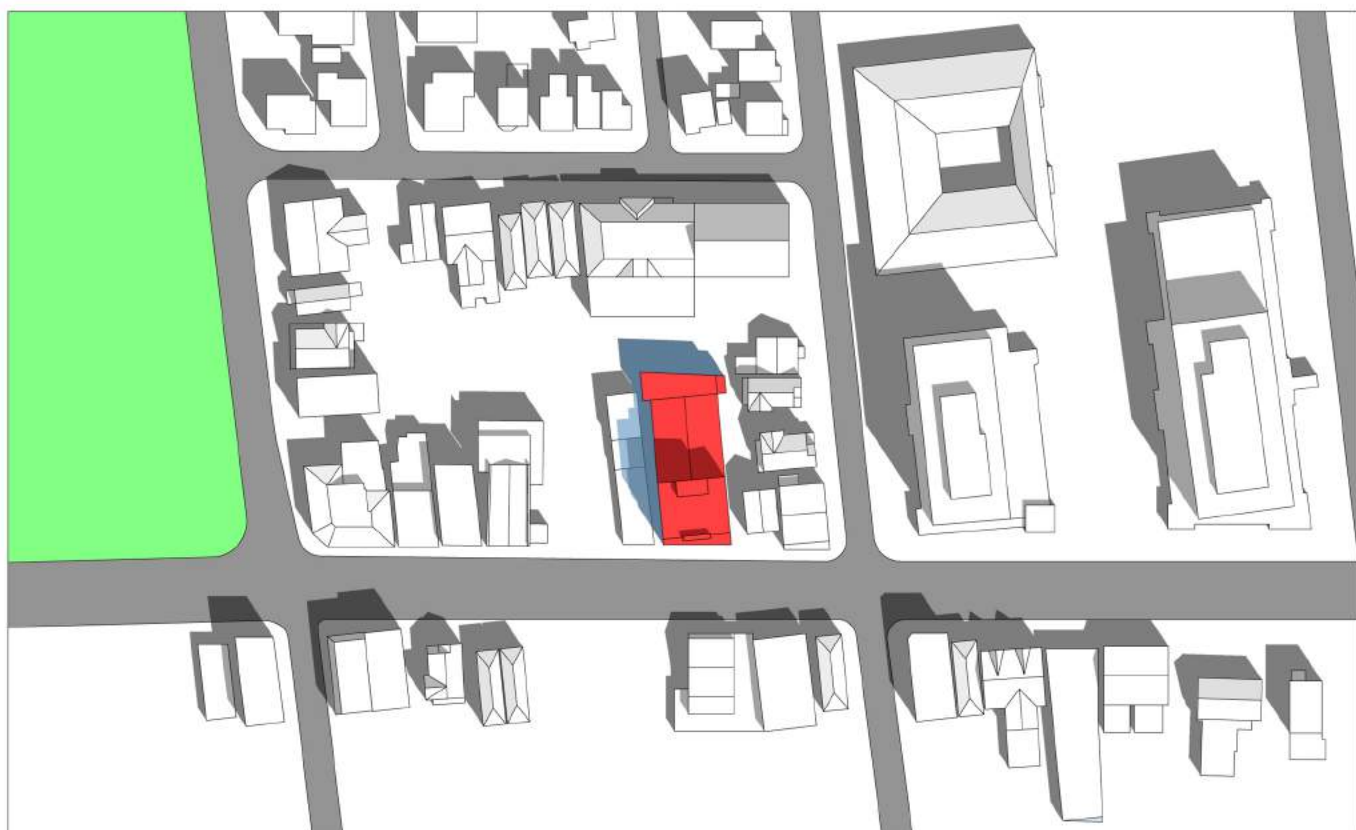
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SEPTEMBER 21



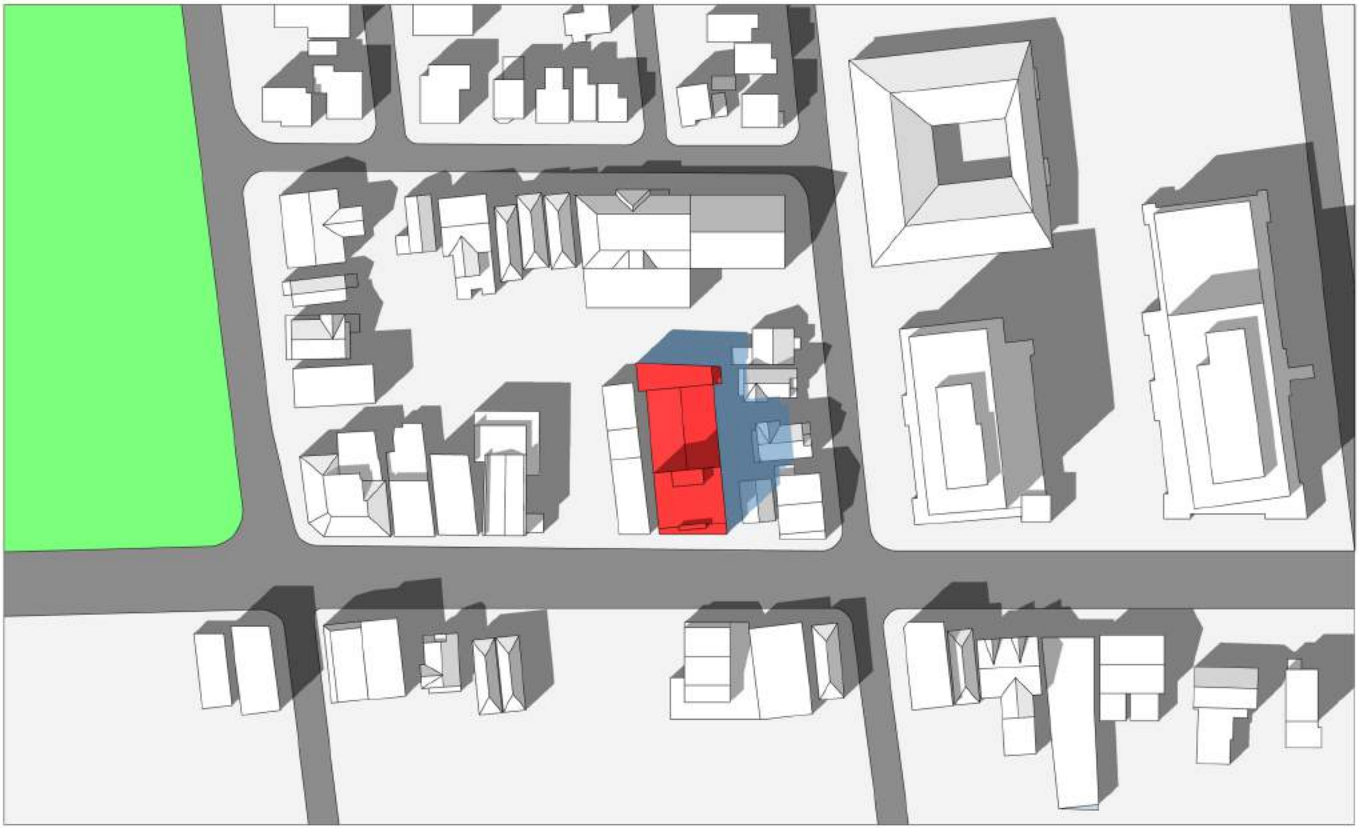
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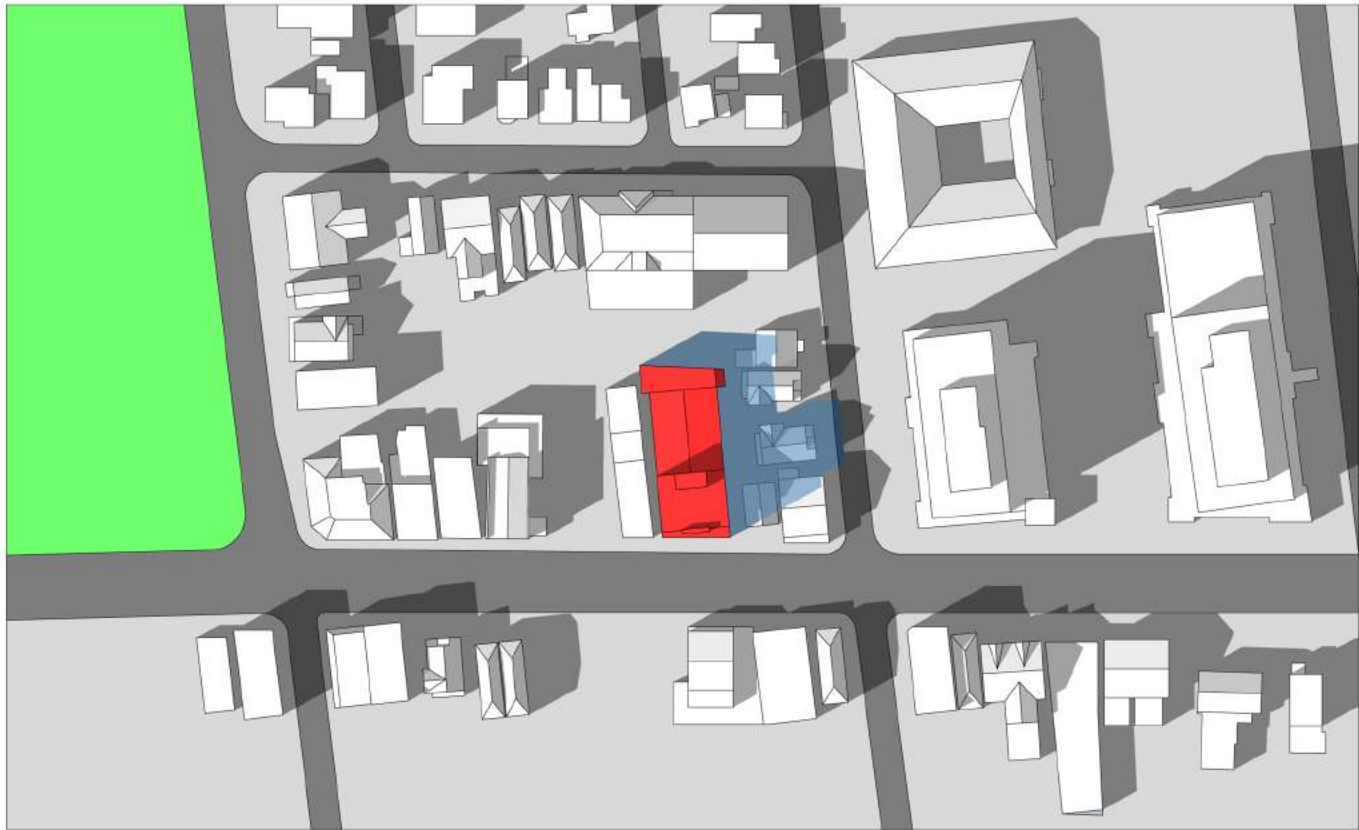


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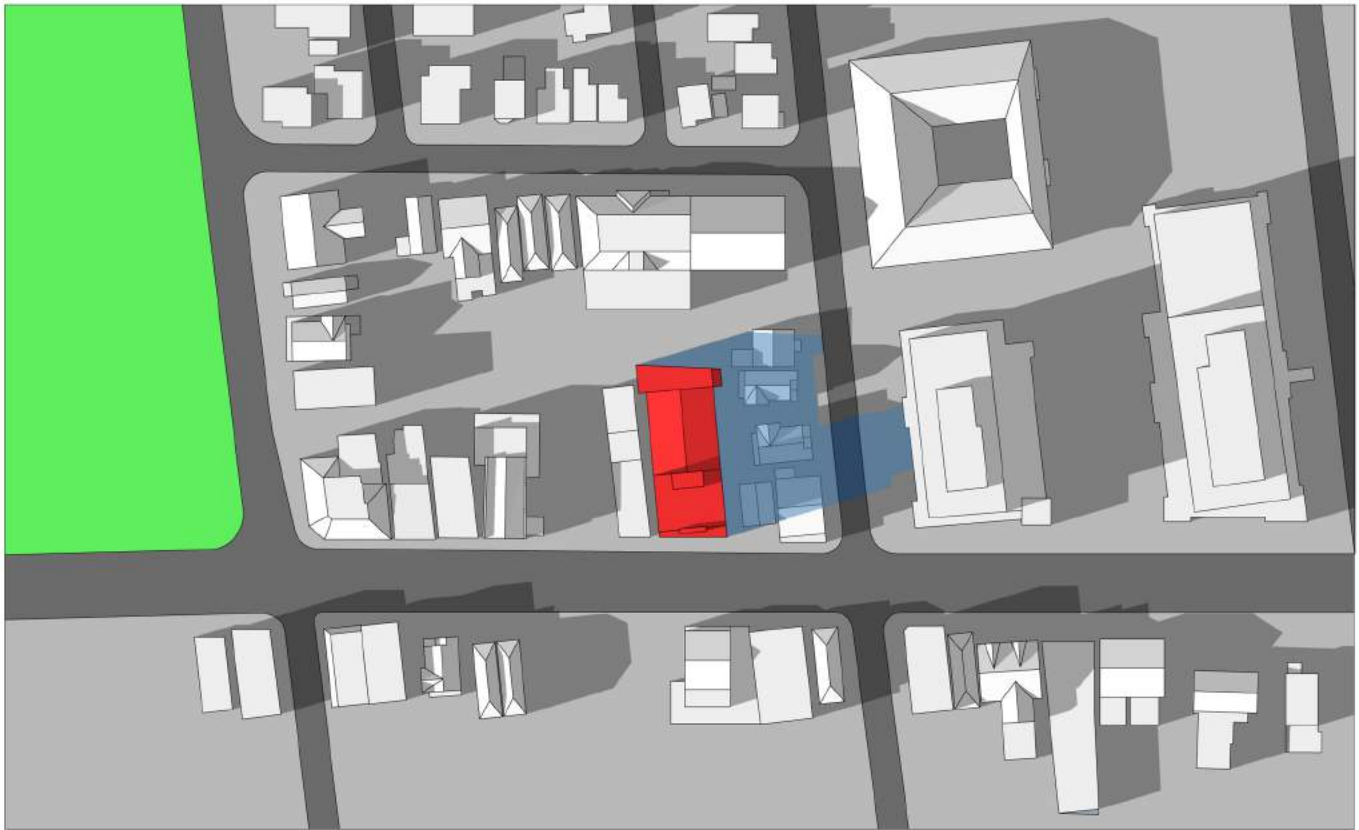


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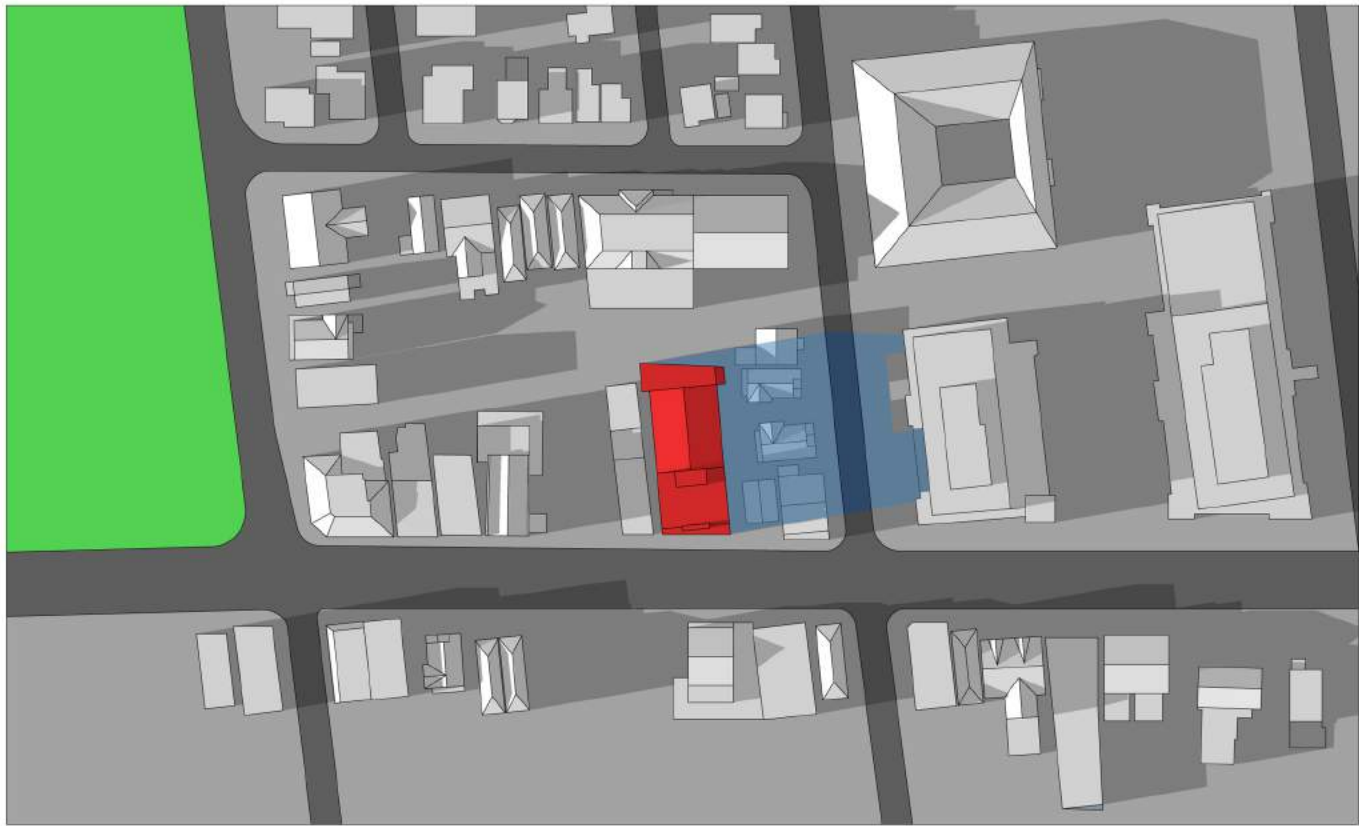
SEPTEMBER 21



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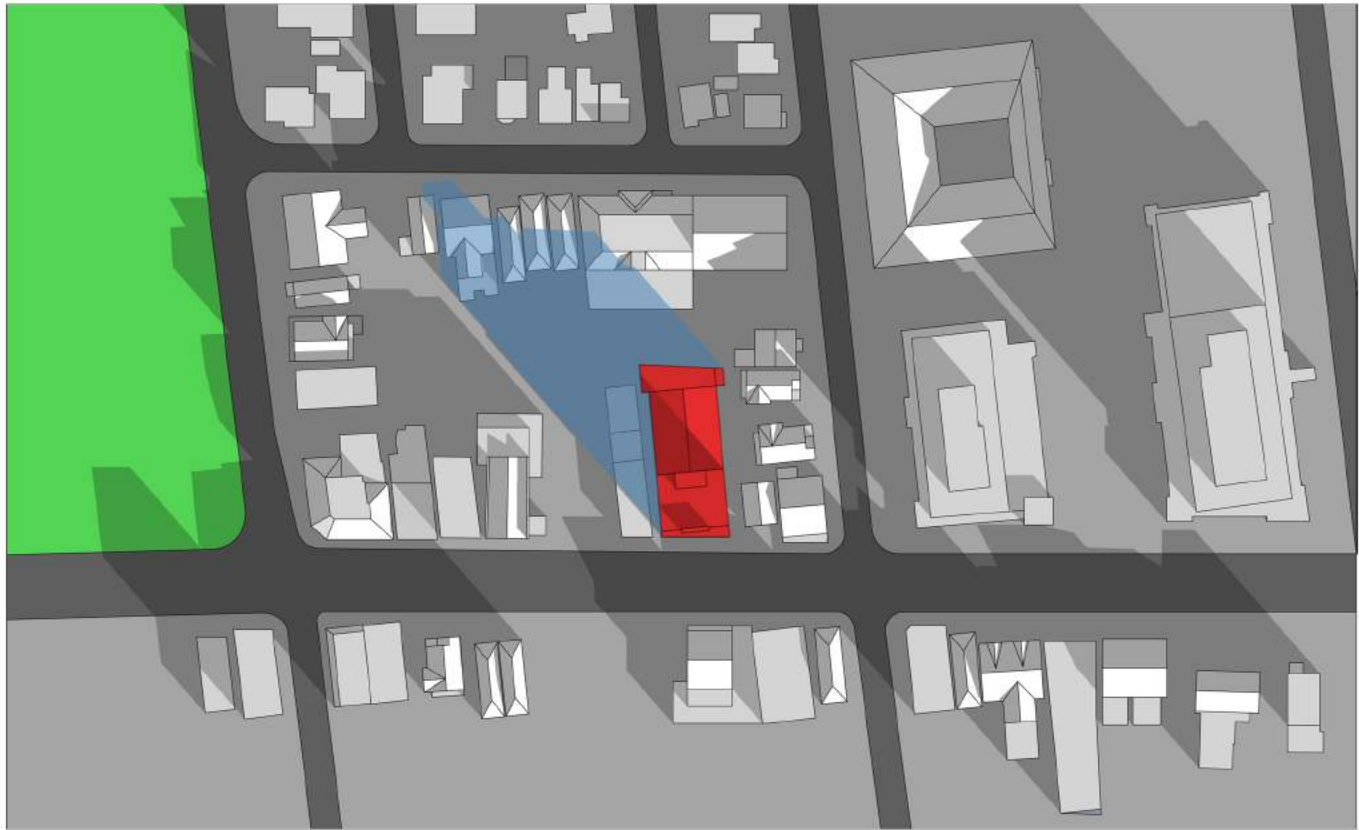
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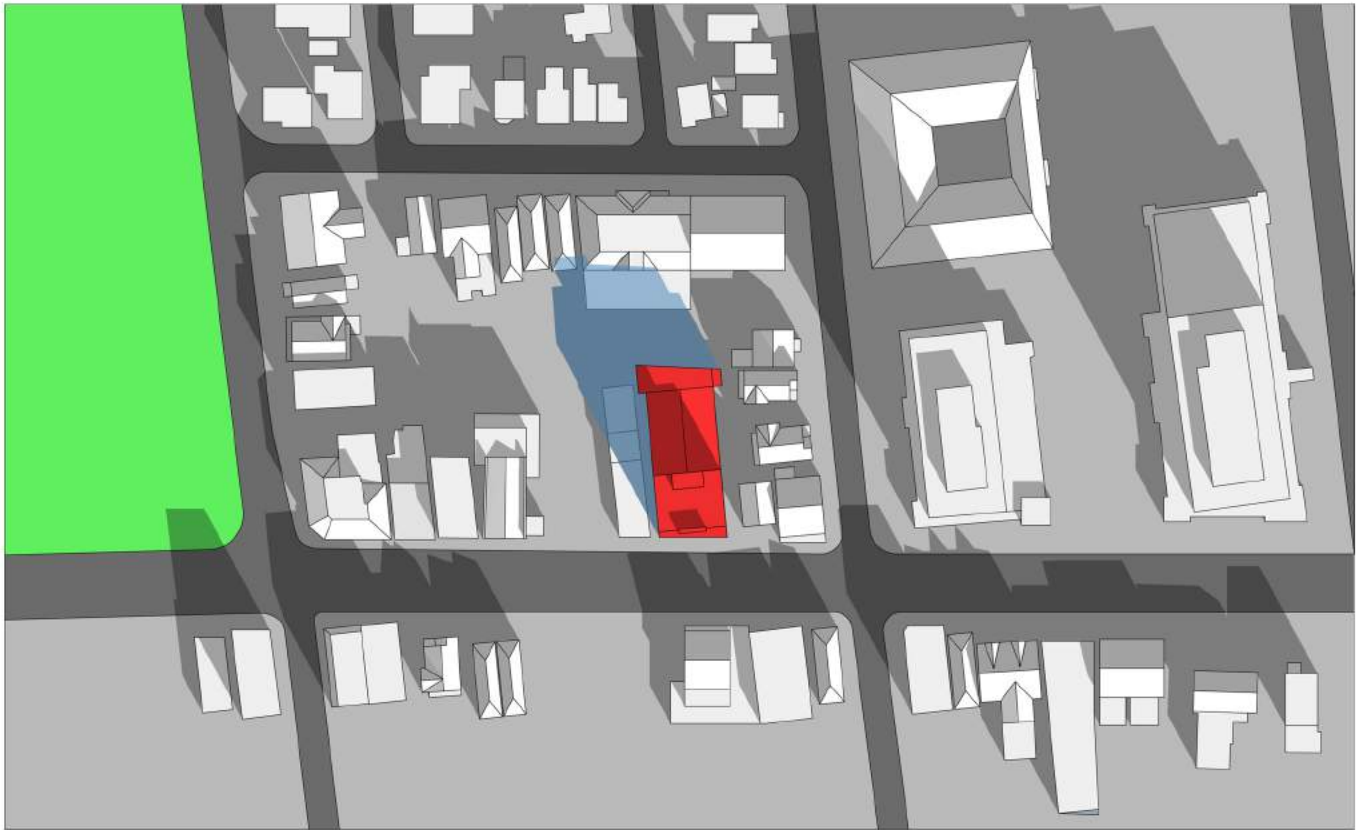
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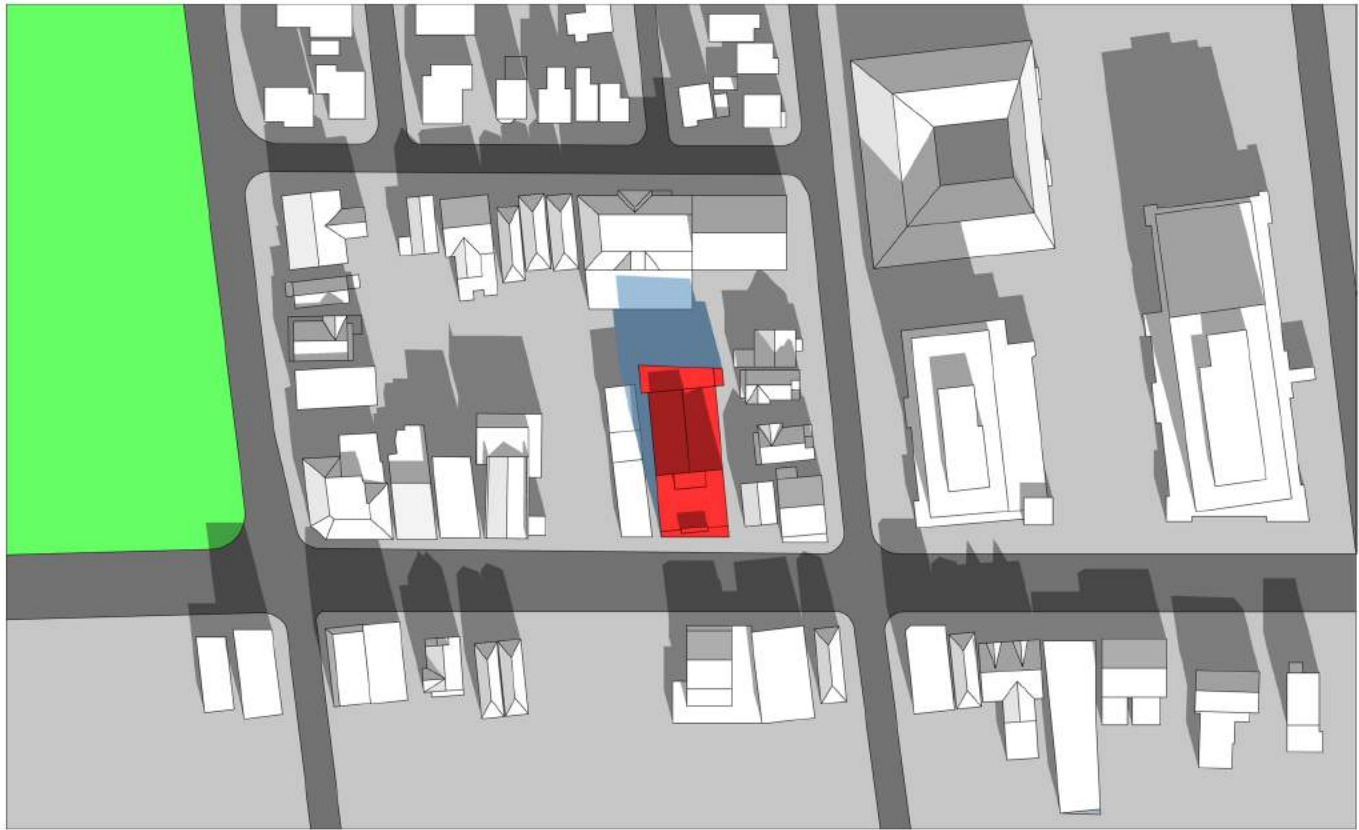
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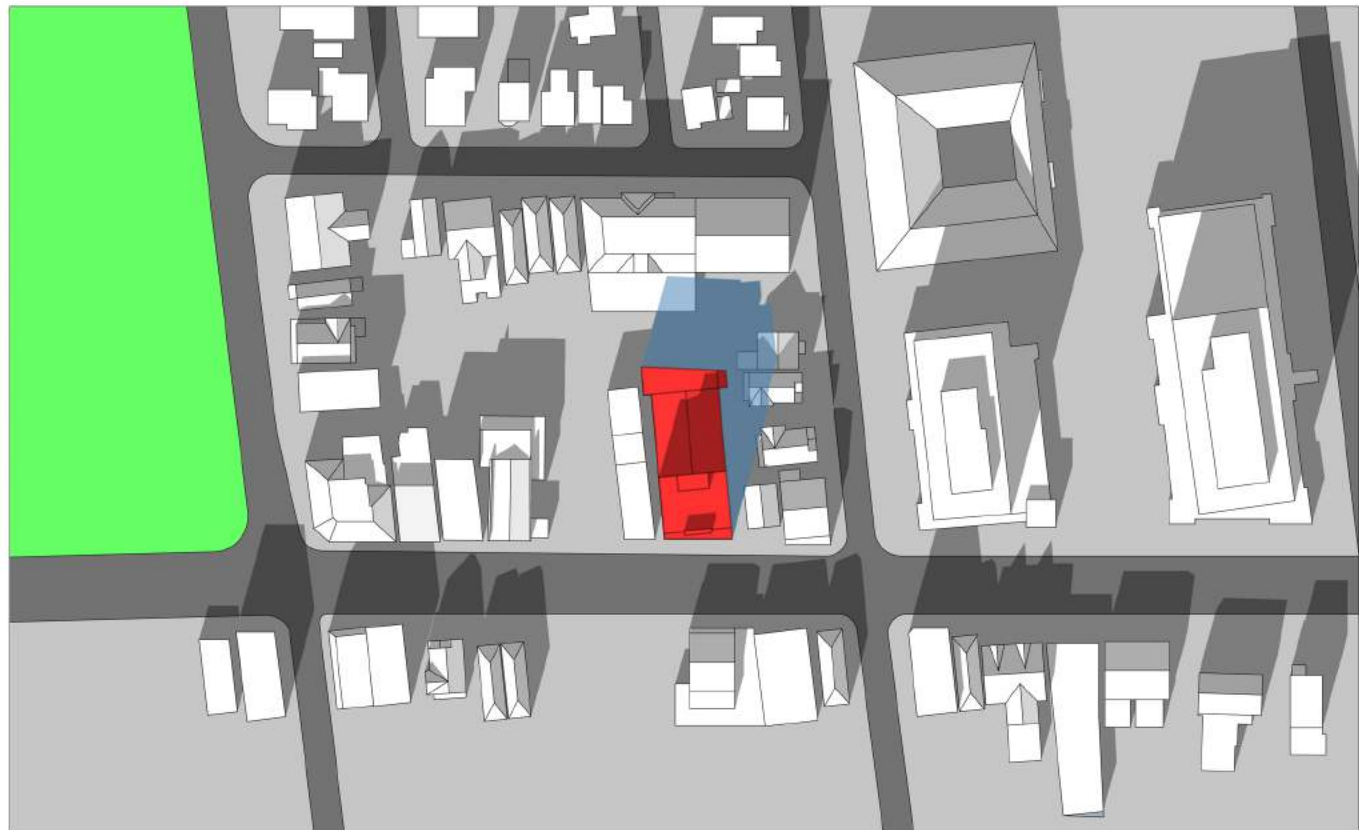


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12:18 PM

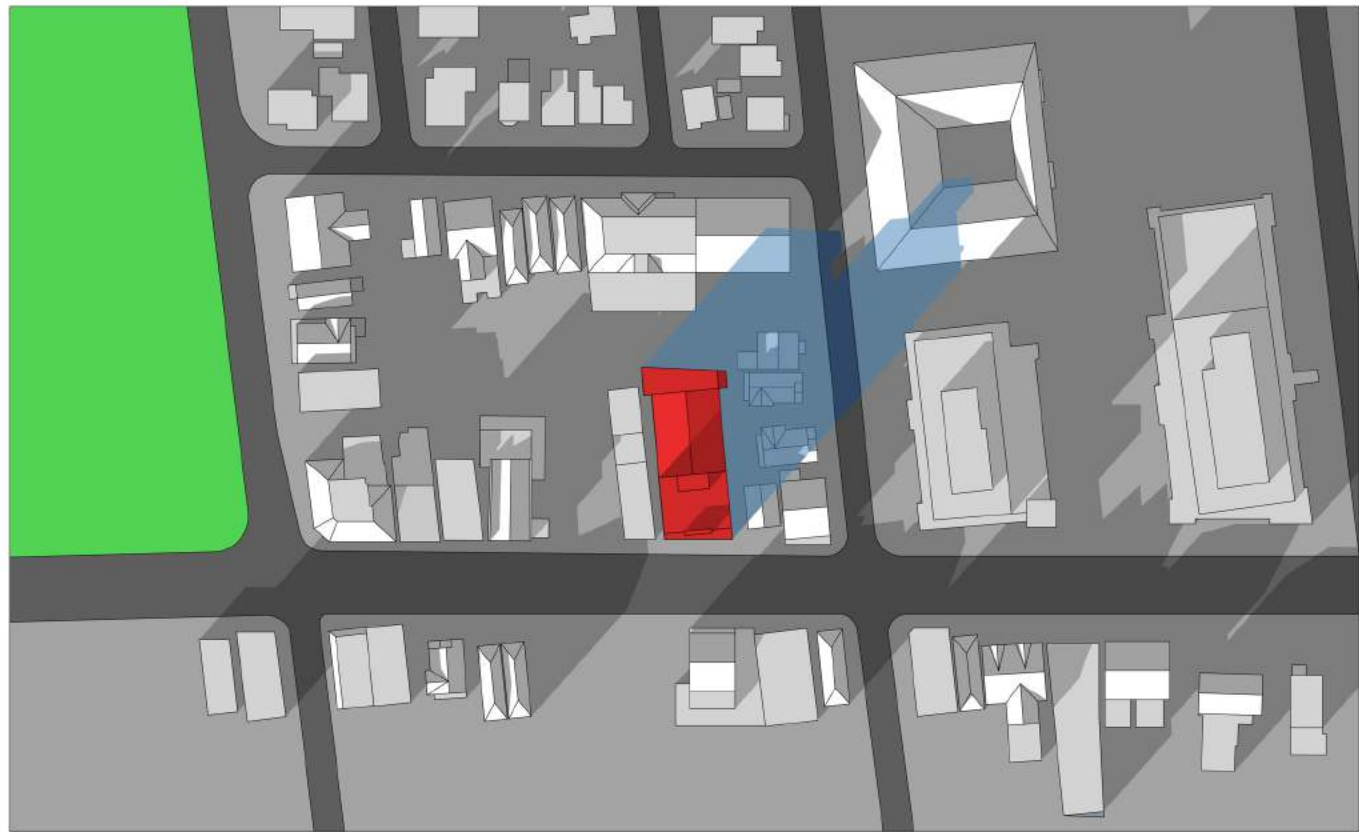
DECEMBER 21



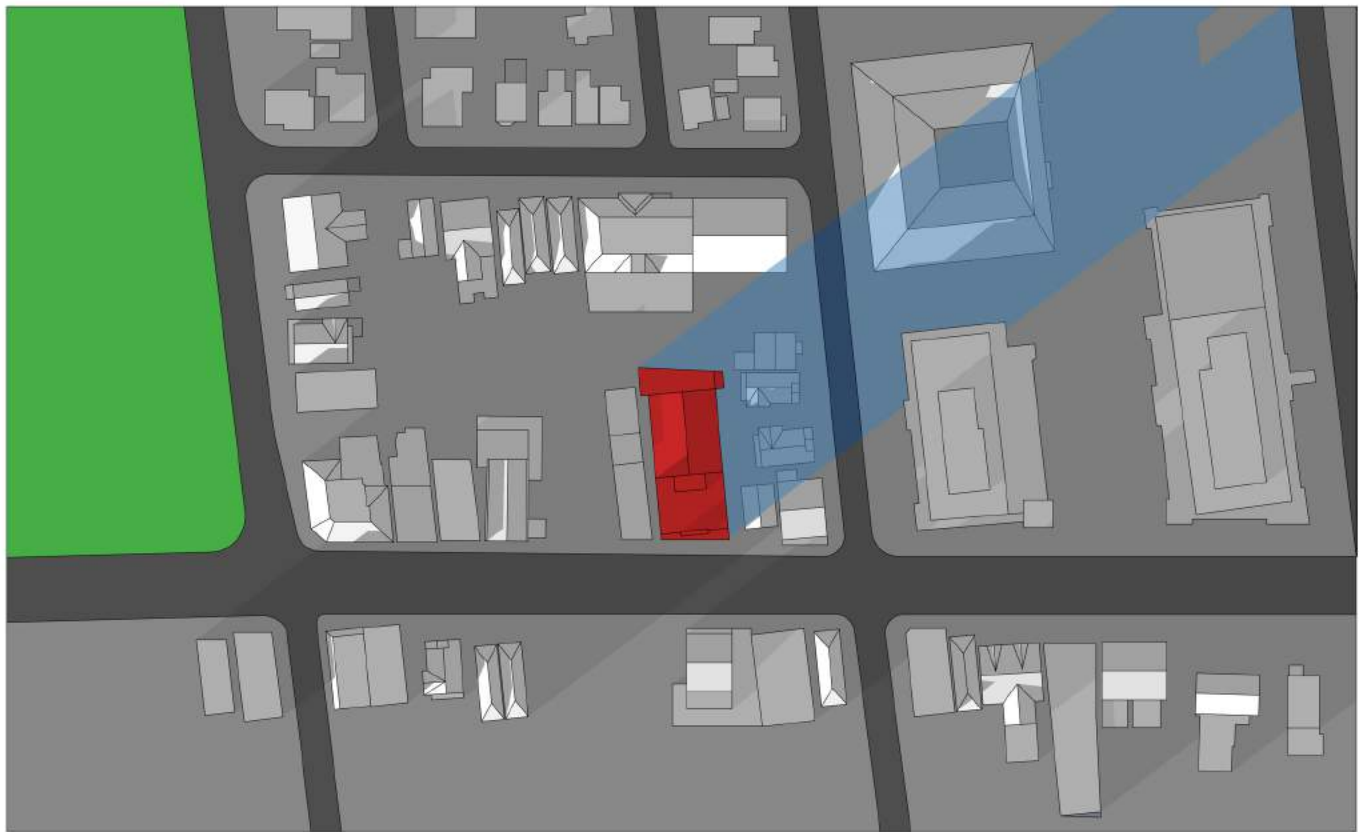
1:18 PM



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3:18 PM



4:18 PM



# 7. DRAWINGS

SUBJECT  
PROPERTY



LOCATION MAP  
SCALE: N.T.S.

#### SITE STATISTICS

LAND AREA	815.2m <sup>2</sup> (0.0815ha)	100%
EXISTING BUILDING COVERAGE	652.4 m <sup>2</sup>	80%
TOTAL BUILDING GFA	1,380 m <sup>2</sup>	
PAVED AND LANDSCAPED AREA	1,628 m <sup>2</sup>	20%
ZONING	TO C1, EXCEPTION 290	

#### OBC

ONTARIO BUILDING CODE (OBC), PART 11 AND PART 3, GROUP A1 #3.3.21,  
GROUP E #3.2.2.50, GROUP C, #3.2.2.43, SPRINKLERED BUILDING

BUILDING 5 FLOORS & 18m HEIGHT

TOPOGRAPHIC SURVEY  
OF PART OF  
LOT 7  
AND ALL OF  
LOT 2  
BLOCK 1, RANGE 3  
REGISTERED PLAN 1435  
IN THE  
CITY OF HAMILTON

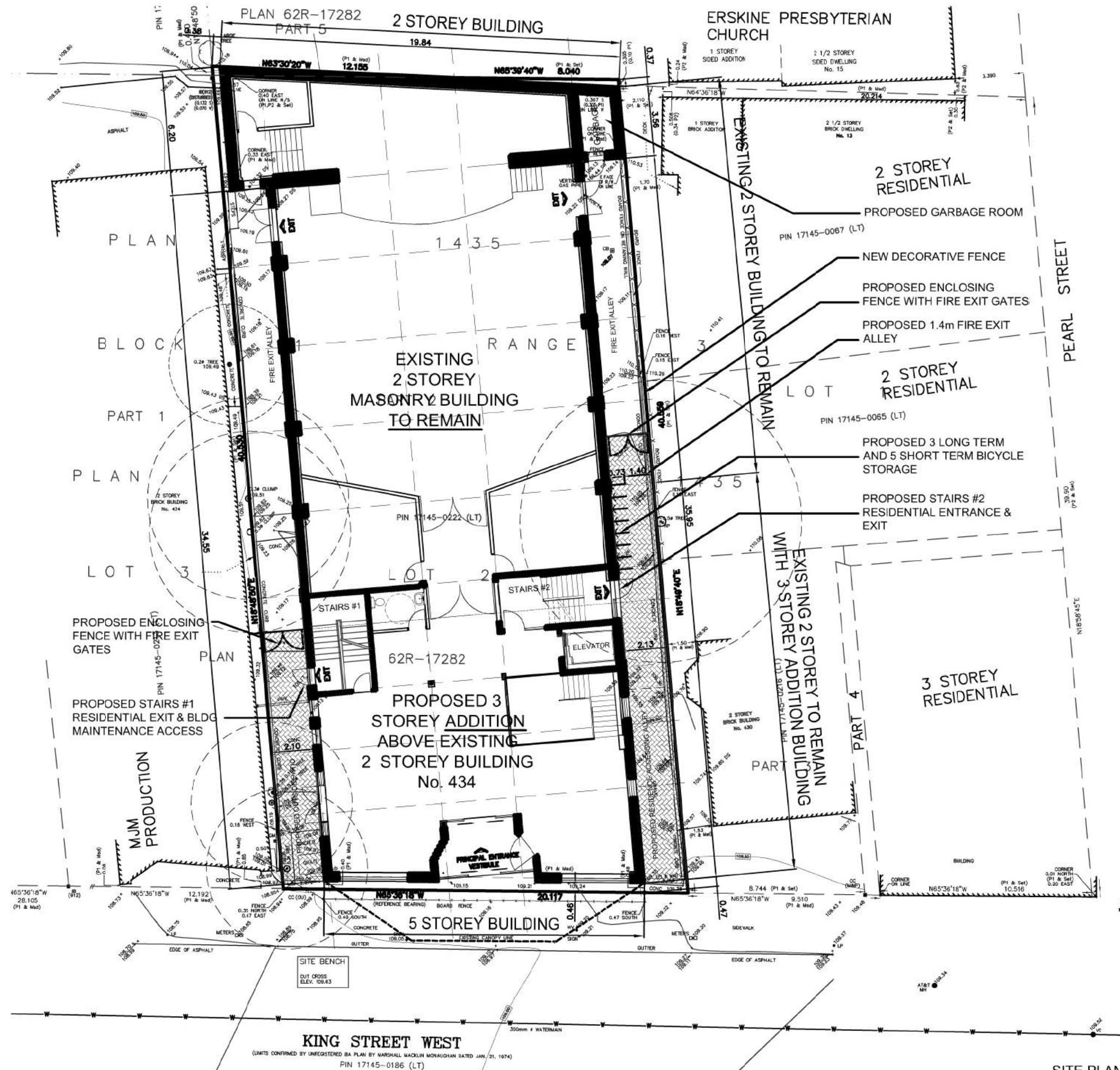
SCALE 1:100 METRIC

S.D. McLAUREN, O.L.S. - 2018

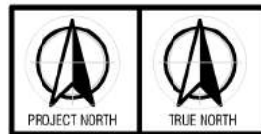
BENCHMARK:  
MONUMENT 0011923U2729

OLD STONE RETAINING WALL  
ACROSS NORTH (DEAD) END OF JAMES  
STREET NORTH, AT SHORE OF  
BURLINGTON BAY, BOLT IN SOUTH FACE  
OF WALL, 1.8 M WEST OF  
EAST STREET LINE AND 61 CM ABOVE  
SIDEWALK.

ELEVATION: 77.108 metres CGVD-1928/1978



SITE PLAN  
SCALE: 1/100



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- POSITIONS OF EXPOSED FINISHED MECHANICAL OR ELECTRICAL DEVICES, FITTINGS, AND FIXTURES INDICATED ON THESE DRAWINGS GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS. THESE ITEMS NOT CLEARLY LOCATED WILL BE LOCATED AS DIRECTED BY THE ARCHITECT.
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- ALL WORK IS TO BE CARRIED OUT IN CONFORMANCE WITH THE CODE AND BYLAWS OF THE AUTHORITIES HAVING JURISDICTION.
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BY: STAN SZAFARSKI, OAA, MRAIC, ARCHITECT

DATE:

2	DRP	SZ
07/18/18	REVIEW	
1	PRE-CONSULTATION	SZ
03/13/19	MEETING	

DATE DESCRIPTION CHECKED

OWNER:

LYRICAL INVESTMENTS INC.  
214 ROBINSON ST.  
HAMILTON, ON  
L8P 1Z9

OWNER:

434 KING ST. W. THEATRE  
REVITALIZATION  
434 KING ST. W. HAMILTON, ON L8P 1B7

DRAWING TITLE:

SITE PLAN



7 VENGORDA CIRCLE, ST. CATHARINES  
L2T 2P1, ONTARIO, CANADA  
TEL. 905 685 9010  
FAX. 905 685 7950  
www.archwayarchitects.com  
mail@archwayarchitects.com

SCALE: AS NOTED

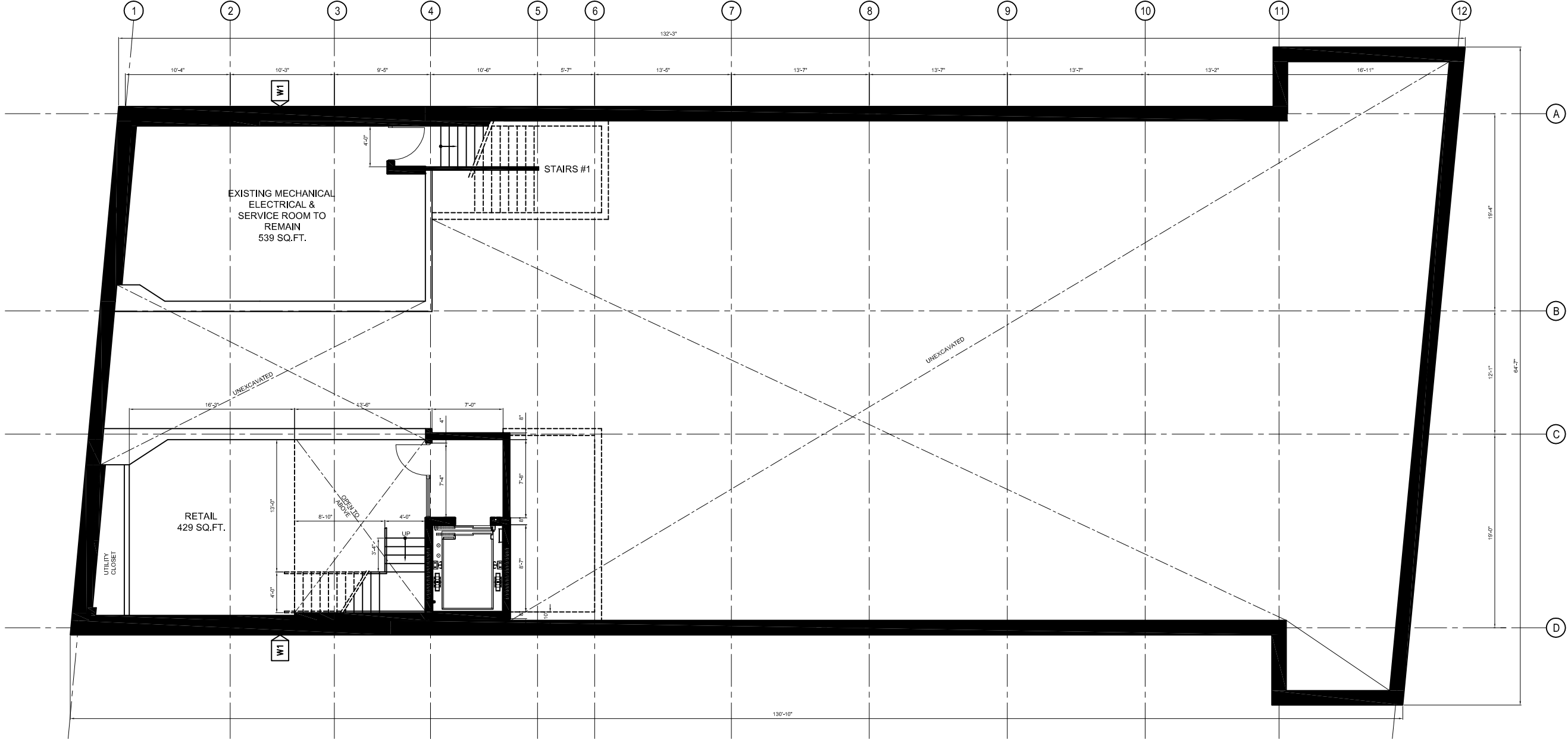
DATE: MARCH 2019  
DESIGN:  
DRAFTING:  
ISSUED:  
CAD: A100

DRAWING STATUS: PRE-CONSULTATION

DRAWING NO.:

A-100





**BASEMENT PLAN**

SCALE: 3/16"=12"

NOTE:

1.

**EXTERIOR WALLS SPECIFICATIONS**

**EW1) EXISTING BASEMENT R20 WALLS**

BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING AND R20 SPRAY INSULATION WITH CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

**EW2) EXISTING BUILDING R24 ENCLOSING WALLS**

BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING & R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

**EW3) EXISTING WALLS WITH STONE CLADDING & R24 INSULATION**

BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM COVERING EXISTING MASONRY WALL WITH NEW INSIDE 6" FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

**EW4) NEW FLOORS R24 ENCLOSING WALLS**

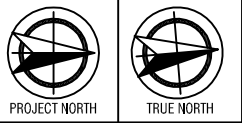
NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM , CONTINUOUS WALL MEMBRANE ON PLYWOOD WITH MEMBRANE & 6" WOOD FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

**EW5) NEW FLOORS R24 ENCLOSING SIDING WALL**

OWNER SELECTED SIDING ON CONTINUOUS WALL MEMBRANE, PLYWOOD AND 6" WOOD FRAMING WITH R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

**EW6) NEW ENCLOSING GLAZING & DOORS**

OWNER SELECTED CURTAIN WALL GLAZING, VISION GLASS AND DOORS



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BY: STAN SZAFIARSKI, OAA, MRAC, ARCHITECT

DATE: \_\_\_\_\_


2 07/19/19	DRP REVIEW	SZ
1 01/16/19	EXISTING AS-BUILTS	SZ

DATE	DESCRIPTION	CHECKED
------	-------------	---------

OWNER:

LYRICAL INVESTMENTS INC.  
214 ROBINSON ST.  
HAMILTON, ON  
L8P 1Z9

PROJECT:  
434 KING ST. W. THEATRE  
REVITALIZATION  
434 KING ST. W. HAMILTON, ON L8P 1B7

DRAWING TITLE:  
BASEMENT FLOOR PLAN



SCALE: AS NOTED

DATE: JAN 2019
DESIGN:
DRAFTING: TC
ISSUED:
ACAD:

DRAWING STATUS: PRELIM

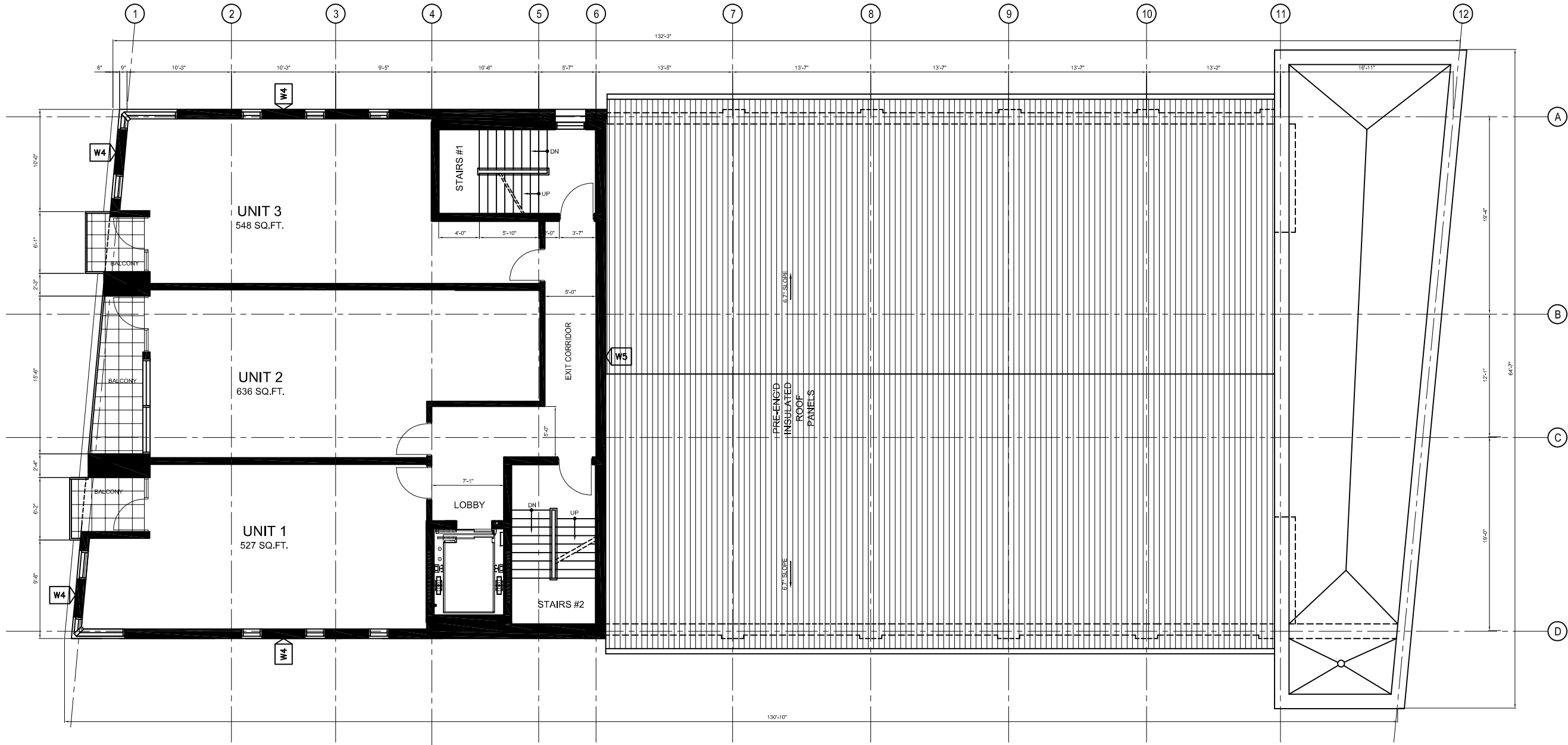
DRAWING NO.

A-200









THIRD FLOOR PLAN

SCALE: 3/16"=12"

NOTE:

1.

EXTERIOR WALLS SPECIFICATIONS

EW1 EXISTING BASEMENT R20 WALLS

BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING AND R20 SPRAY INSULATION WITH CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

EW2 EXISTING BUILDING R24 ENCLOSING WALLS

BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING & R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

EW3 EXISTING WALLS WITH STONE CLADDING & R24 INSULATION

BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM COVERING EXISTING MASONRY WALL WITH NEW INSIDE 6" FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

EW4 NEW FLOORS R24 ENCLOSING WALLS

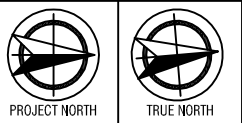
NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM , CONTINUOUS WALL MEMBRANE ON PLYWOOD WITH MEMBRANE & 6" WOOD FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

EW5 NEW FLOORS R24 ENCLOSING SIDING WALL

OWNER SELECTED SIDING ON CONTINUOUS WALL MEMBRANE, PLYWOOD AND 6" WOOD FRAMING WITH R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

EW6 NEW ENCLOSING GLAZING & DOORS

OWNER SELECTED CURTAIN WALL GLAZING, VISION GLASS AND DOORS



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BY: STAN SZAFIARSKI, OAA, MRAIC, ARCHITECT

DATE: \_\_\_\_\_

2 07/19/19 DRP REVIEW SZ

1 01/16/19 EXISTING AS-BUILTS SZ

DATE DESCRIPTION CHECKED

OWNER:

LYRICAL INVESTMENTS INC.  
214 ROBINSON ST.  
HAMILTON, ON  
L8P 1Z9

PROJECT:  
434 KING ST. W. THEATRE  
REVITALIZATION  
434 KING ST. W., HAMILTON, ON L8P 1B7

DRAWING TITLE:  
THIRD FLOOR PLAN

**ARCHWAY**  
AND ASSOCIATE ARCHITECTS  
7 VERGORDA CIRCLE, ST. CATHARINES  
L2T 2P1, ONTARIO, CANADA  
TEL. 905 685 5010  
FAX. 905 685 7950  
www.archwayarchitects.com  
mail@archwayarchitects.com

SCALE: AS NOTED

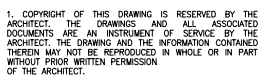
DATE: JAN 2019  
DESIGN:  
DRAFTING: TC  
ISSUED:  
ACAD:

DRAWING STATUS: PRELIM

DRAWING NO.

A-203





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BY: STAN SZAFLARSKI, OAA, MRAIC, ARCHITECT

DATE: \_\_\_\_\_


2 07/19/19	DRP REVIEW	SZ
1 01/16/19	EXISTING AS-BUILTS	SZ

DATE	DESCRIPTION	CHECK
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OWNER:

LYRICAL INVESTMENTS INC.

214 ROBINSON ST.  
HAMILTON, ON  
L8P 1Z9

PROJECT:

434 KING ST. W. THEATRE  
REVITALIZATION

434 KING ST. W, HAMILTON, ON L8P 1B7

DRAWING TITLE:

FOURTH FLOOR PLAN



7 VERGORDA CIRCLE, ST.CATHARINES  
L2T 2P1, ONTARIO, CANADA  
TEL. 905 685 9010  
FAX. 905 685 7950  
[www.archwayarchitects.com](http://www.archwayarchitects.com)  
[mail@archwayarchitects.com](mailto:mail@archwayarchitects.com)

SCALE: AS NOTED

DATE: JAN 201  
DESIGN:  
DRAFTING: TC  
ISSUED:  
ACAD:

DRAWING STATUS: PRELIM

DRAWING NO.

A-204



SCALE: 3/16"=12"

**NOTE**

1.

## EXTERIOR WALLS SPECIFICATIONS

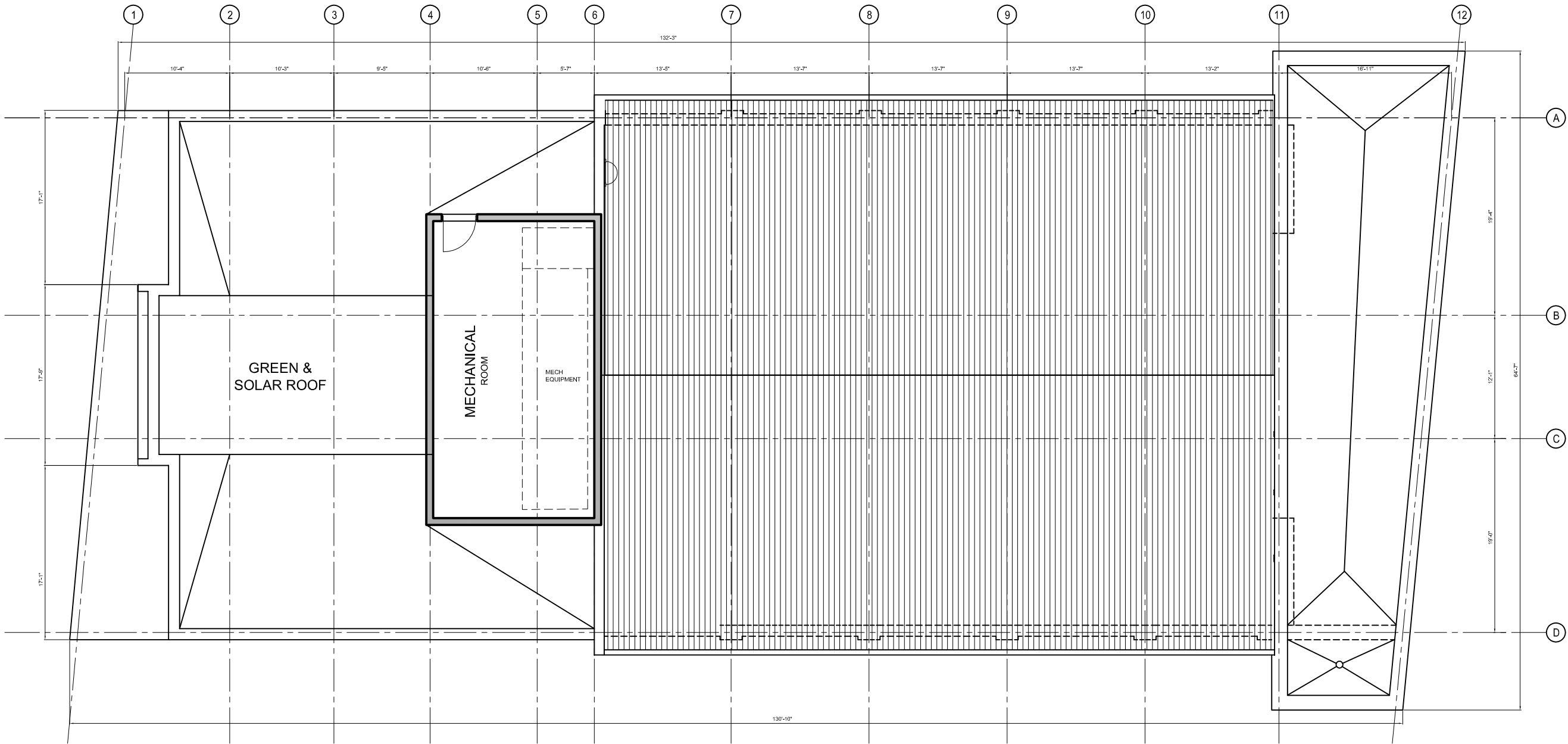
EW1	<p><u>EXISTING BASEMENT R20 WALLS</u></p> <p>BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING AND R20 SPRAY INSULATION WITH CONTINUES AIR/VAPOUR BARRIER AND <math>\frac{5}{8}</math>" GYPSUM BOARD, PAINTED</p>	EW4	<p><u>NEW FLOORS R24 ENCLOSING WALLS</u></p> <p>NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM , CONTINUOUS WALL MEMBRANE ON PLYWOOD WITH MEMBRANE &amp; 6" WOOD FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND <math>\frac{5}{8}</math>" GYPSUM BOARD, PAINTED</p>
EW2	<p><u>EXISTING BUILDING R24 ENCLOSING WALLS</u></p> <p>BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING &amp; R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND <math>\frac{5}{8}</math>" GYPSUM BOARD, PAINTED</p>	EW5	<p><u>NEW FLOORS R24 ENCLOSING SIDING WALL</u></p> <p>OWNER SELECTED SIDING ON CONTINUOUS WALL MEMBRANE, PLYWOOD AND 6" WOOD FRAMING WITH R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND <math>\frac{5}{8}</math>" GYPSUM BOARD, PAINTED</p>
EW3	<p><u>EXISTING WALLS WITH STONE CLADDING &amp; R24 INSULATION</u></p> <p>BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM COVERING EXISTING MASONRY WALL WITH NEW INSIDE 6" FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND <math>\frac{5}{8}</math>" GYPSUM BOARD, PAINTED</p>	EW6	<p><u>NEW ENCLOSING GLAZING &amp; DOORS</u></p> <p>OWNER SELECTED CURTAIN WALL GLAZING, VISION GLASS AND DOORS</p>



OWNER SELECTED CURTAIN WALL GLAZING, VISION  
GLASS AND DOORS

DRAWING NO. **A-205**



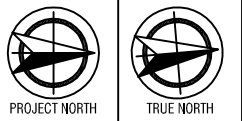


**ROOF PLAN**

SCALE: 3/16"=12"

NOTE:

1.



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BY: STAN SZAFIARSKI, OAA, MRAIC, ARCHITECT

DATE: \_\_\_\_\_


2 07/19/19	DRP REVIEW	SZ
1 01/18/19	EXISTING AS-BUILTS	SZ

DATE DESCRIPTION CHECKED

OWNER:

LYRICAL INVESTMENTS INC.  
214 ROBINSON ST.  
HAMILTON, ON  
L8P 1Z9

PROJECT:  
434 KING ST. W. THEATRE  
REVITALIZATION  
434 KING ST. W. HAMILTON, ON L8P 1B7

DRAWING TITLE:  
ROOF PLAN

**ARCHWAY**  
AND ASSOCIATE ARCHITECTS  
7 VERGORDA CIRCLE, ST. CATHARINES  
L2T 2P1, ONTARIO, CANADA  
TEL. 905.685.5010  
FAX. 905.685.7950  
www.archwayarchitects.com  
mail@archwayarchitects.com

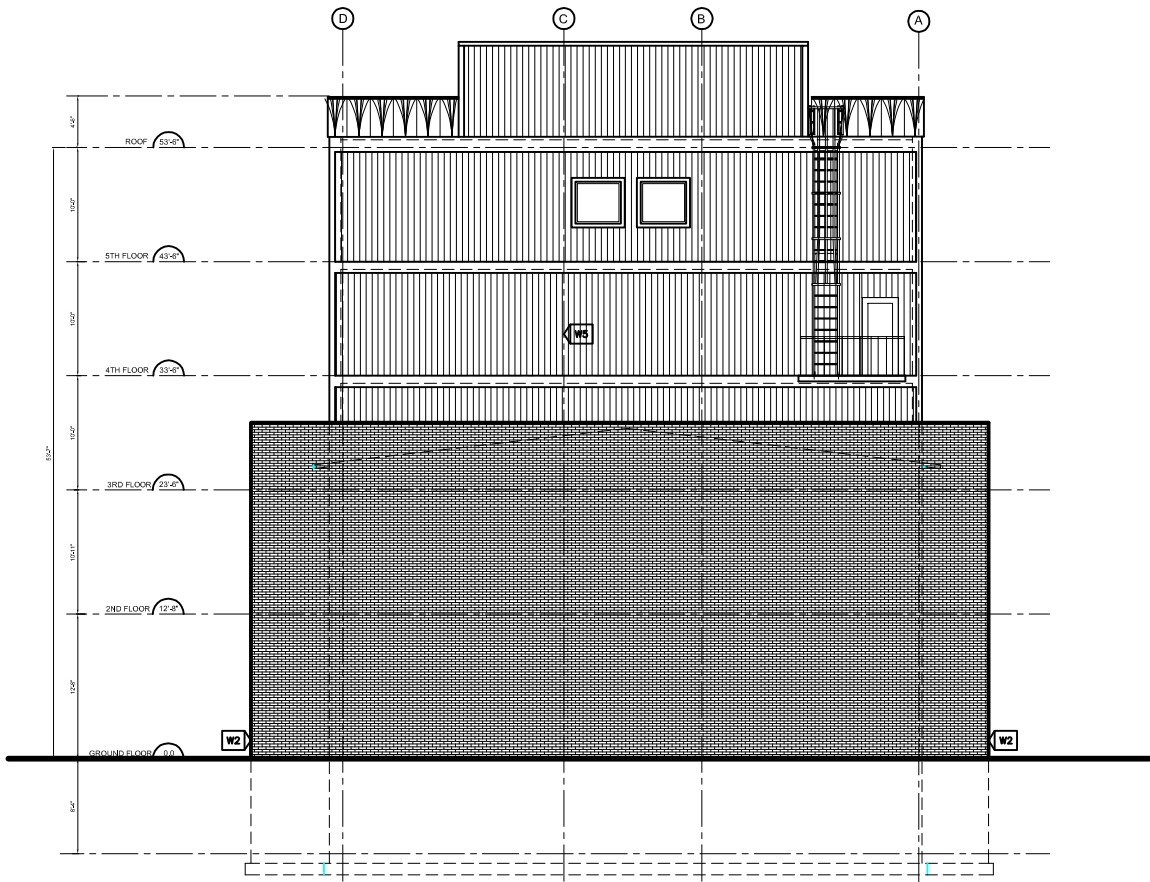
SCALE: AS NOTED

DATE: JAN 2019
DESIGN:
DRAFTING: TC
ISSUED:
ACAD:

DRAWING STATUS: PRELIM

DRAWING NO.

A-206



## NORTH (BACK) ELEVATION

SCALE: 1/8"=12"

NOTE:  
1.

## EXTERIOR WALLS SPECIFICATIONS

**EW1** EXISTING BASEMENT R20 WALLS  
BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING AND R20 SPRAY INSULATION WITH CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

**EW2** EXISTING BUILDING R24 ENCLOSING WALLS  
BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING & R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

**EW3** EXISTING WALLS WITH STONE CLADDING & R24 INSULATION  
BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM COVERING EXISTING MASONRY WALL WITH NEW INSIDE 6" FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

**EW4** NEW FLOORS R24 ENCLOSING WALLS  
NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM , CONTINUOUS WALL MEMBRANE ON PLYWOOD WITH MEMBRANE & 6" WOOD FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

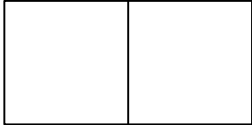
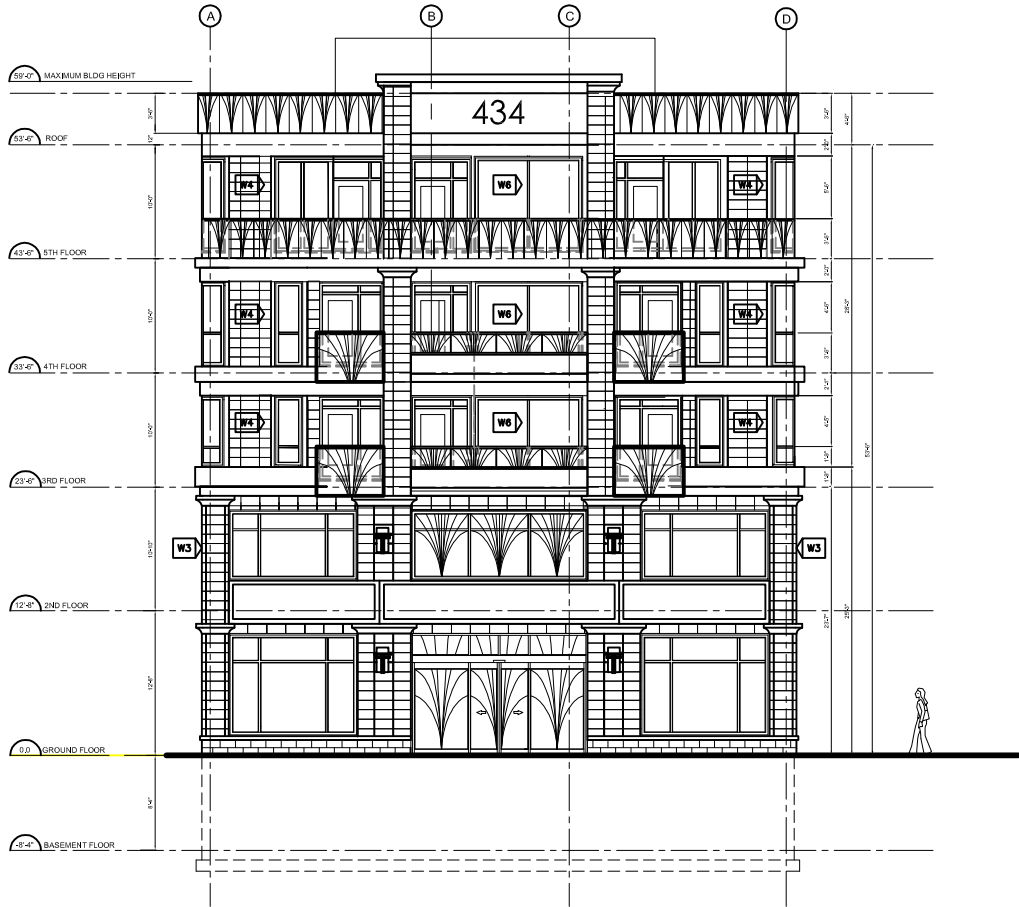
**EW5** NEW FLOORS R24 ENCLOSING SIDING WALL  
OWNER SELECTED SIDING ON CONTINUOUS WALL MEMBRANE, PLYWOOD AND 6" WOOD FRAMING WITH R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

**EW6** NEW ENCLOSING GLAZING & DOORS  
OWNER SELECTED CURTAIN WALL GLAZING, VISION GLASS AND DOORS

## SOUTH (MAIN ENTRANCE) FRONT ELEVATION

SCALE: 1/8"=12"

NOTE:  
1.



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BY: STAN SZAFIARSKI, OAA, MRAIC, ARCHITECT

DATE: \_\_\_\_\_


07/19/19	DRP REVIEW	SZ
1 01/16/19	EXISTING AS-BUILTS	SZ

DATE	DESCRIPTION	CHECKED
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OWNER:

LYRICAL INVESTMENTS INC.  
214 ROBINSON ST.  
HAMILTON, ON  
L8P 1Z9

PROJECT:

434 KING ST. W. THEATRE  
REVITALIZATION  
434 KING ST. W., HAMILTON, ON L8P 1B7

DRAWING TITLE:

BUILDING  
SOUTH AND NORTH  
ELEVATIONS



7 VERGORDA CIRCLE, ST. CATHARINES  
L2T 2P1, ONTARIO, CANADA  
TEL. 905.685.9010  
FAX. 905.685.7950  
www.archwayarchitects.com  
mail@archwayarchitects.com

SCALE: AS NOTED

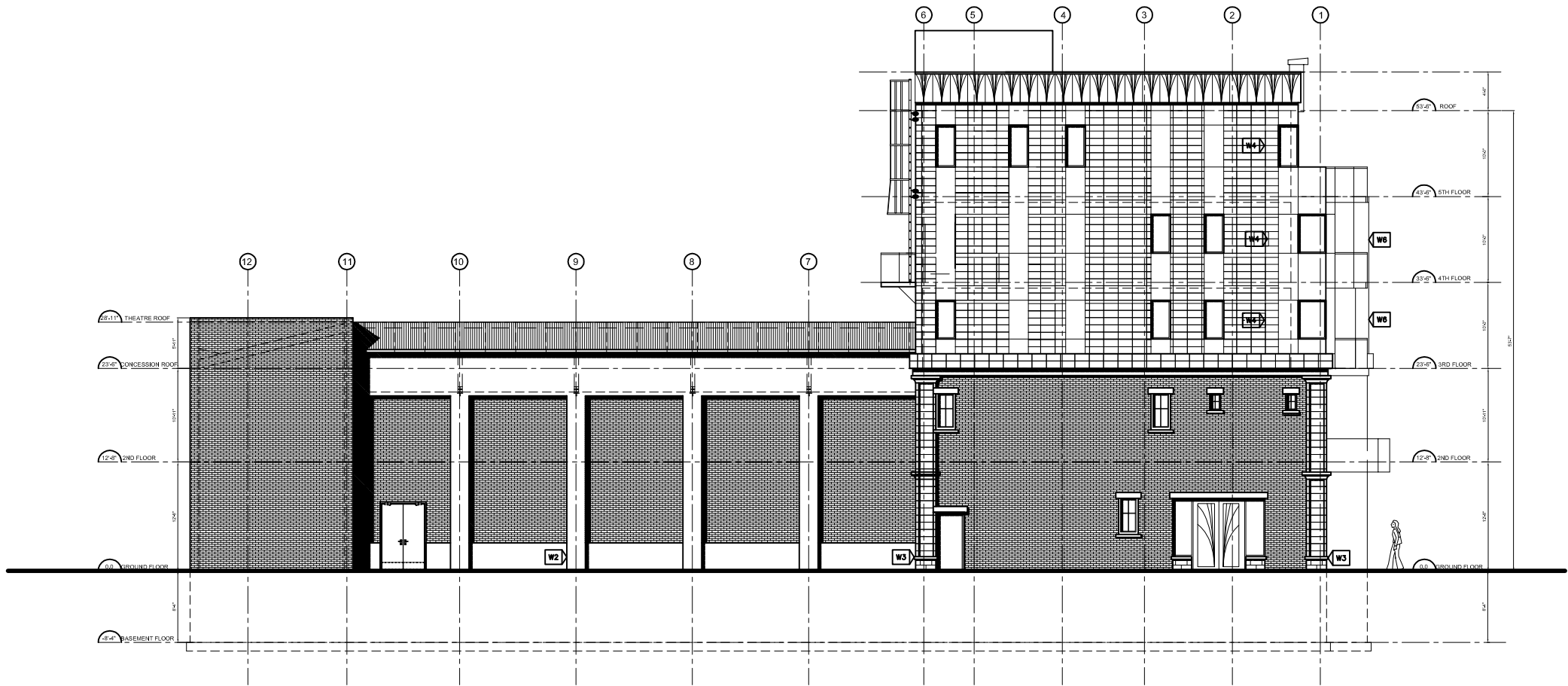
DATE: JAN 2019
DESIGN:
DRAFTING: TC
ISSUED:
ACAD:

DRAWING STATUS: PRELIMS

DRAWING NO.

A-300



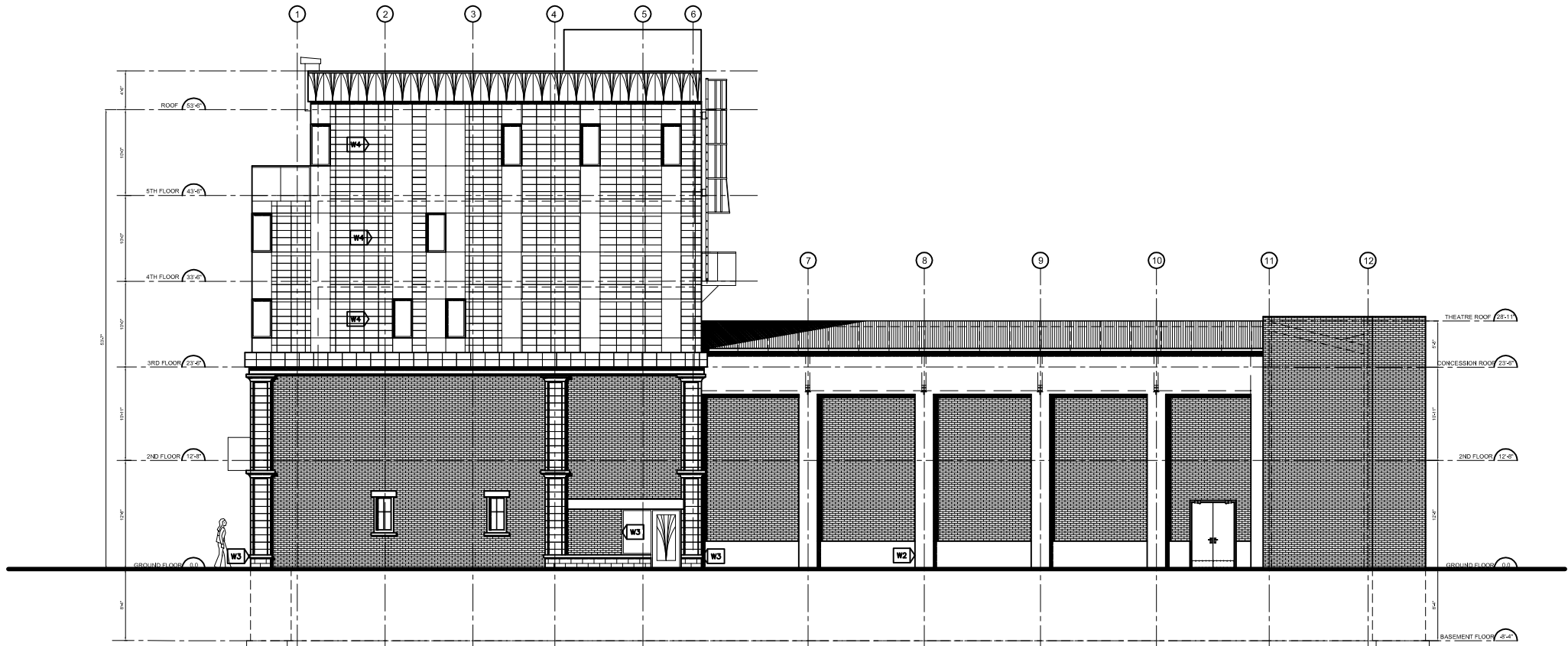


## WEST ELEVATION

SCALE: 1/8"=12"

NOTE:

1.



## EAST ELEVATION

SCALE: 1/8"=12"

NOTE:

1.

## EXTERIOR WALLS SPECIFICATIONS

### EW1 EXISTING BASEMENT R20 WALLS

BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING AND R20 SPRAY INSULATION WITH CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

### EW2 EXISTING BUILDING R24 ENCLOSING WALLS

BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW INSIDE FRAMING & R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

### EW3 EXISTING WALLS WITH STONE CLADDING & R24 INSULATION

BUILDING ENVELOPE WALL TO REMAIN "AS IS" WITH NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM COVERING EXISTING MASONRY WALL WITH NEW INSIDE 6" FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

### EW4 NEW FLOORS R24 ENCLOSING WALLS

NEW VENEER RAIN SCREEN STONE CLADDING SYSTEM, CONTINUOUS WALL MEMBRANE ON PLYWOOD WITH MEMBRANE & 6" WOOD FRAMING, R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

### EW5 NEW FLOORS R24 ENCLOSING SIDING WALL

OWNER SELECTED SIDING ON CONTINUOUS WALL MEMBRANE, PLYWOOD AND 6" WOOD FRAMING WITH R24 SPRAY INSULATION, CONTINUOUS AIR/VAPOUR BARRIER AND 5/8" GYPSUM BOARD, PAINTED

### EW6 NEW ENCLOSING GLAZING & DOORS

OWNER SELECTED CURTAIN WALL GLAZING, VISION GLASS AND DOORS



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BY: STAN SZAFIARSKI, OAA, MRAC, ARCHITECT

DATE: \_\_\_\_\_


07/19/19	DRP REVIEW	SZ
1 01/16/19	EXISTING AS-BUILTS	SZ

DATE	DESCRIPTION	CHECKED
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OWNER:

LYRICAL INVESTMENTS INC.  
214 ROBINSON ST.  
HAMILTON, ON  
L8P 1Z9

PROJECT:

434 KING ST. W. THEATRE  
REVITALIZATION  
434 KING ST. W. HAMILTON, ON L8P 1B7

DRAWING TITLE:

BUILDING  
WEST AND EAST  
ELEVATIONS



7 VERGORDA CIRCLE, ST. CATHARINES  
L2T 2P1, ONTARIO, CANADA  
TEL. 905.685.9010  
FAX. 905.685.7950  
www.archwayarchitects.com  
mail@archwayarchitects.com

SCALE: AS NOTED

DATE: JAN 2019
DESIGN:
DRAFTING: TC
ISSUED:
ACAD:

DRAWING STATUS: PRELIMS

DRAWING NO.

A-301

# 8. RENDERINGS





STREET VIEW





MAIN ENTRANCE





RETAIL/BISTRO





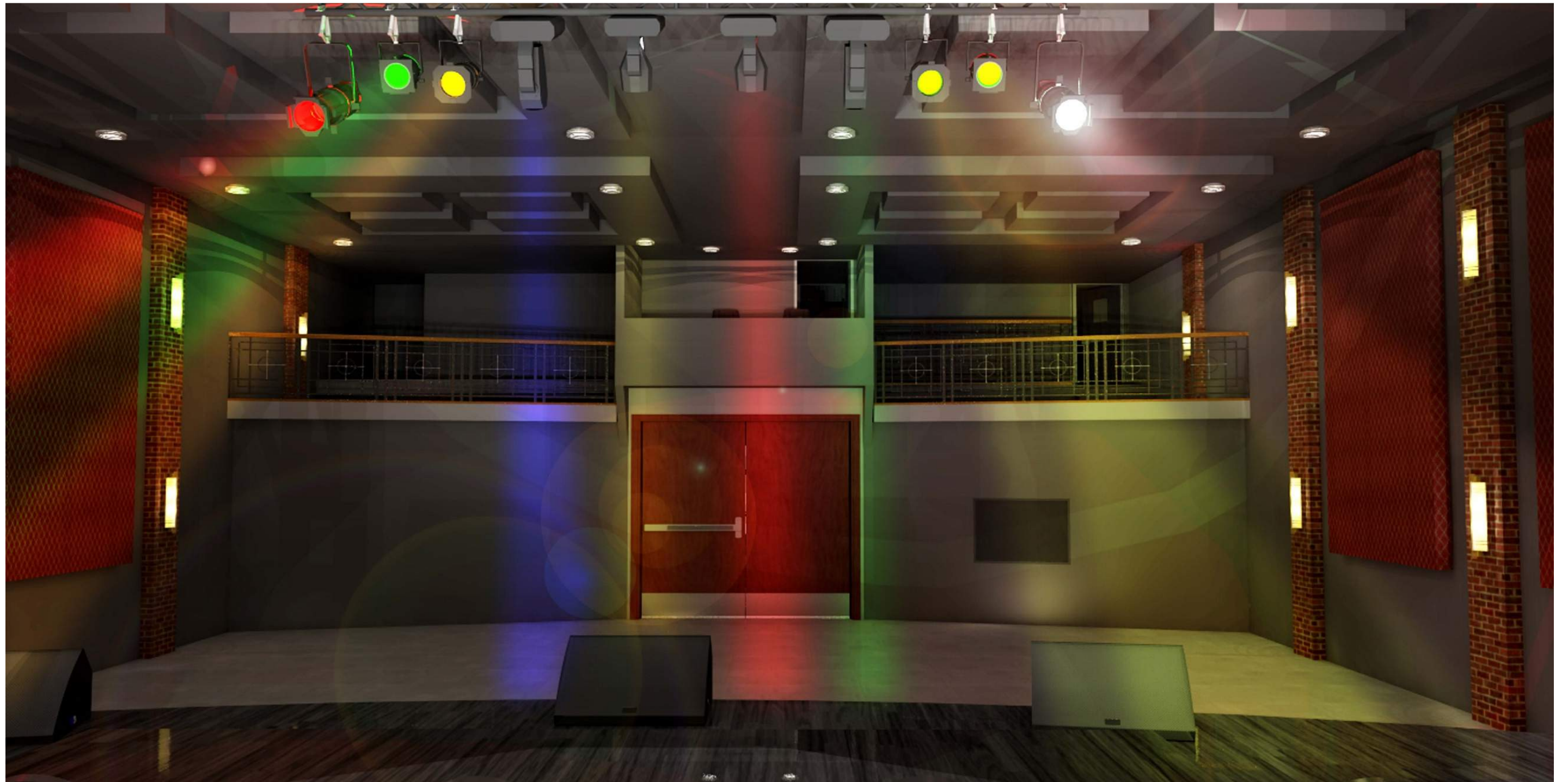
EAST SIDE RETAIL UNIT





WEST SIDE ALLEY





THE THEATRE - INTERIOR





THE THEATRE - INTERIOR



# City of Hamilton Design Review Panel Meeting Summary – August 8<sup>th</sup>, 2019

## Meeting Summary

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The Design Review Panel met on **Thursday, August 8<sup>th</sup>, 2019** in Meeting Room 264, 2<sup>nd</sup> Floor, City Hall, 71 Main Street West, Hamilton, Ontario.

### Panel Members Present:

**Colin Berman**, Brook McIlroy  
**Vincent Colizza**, Vincent Colizza Architects, *Chair*  
**Robert Freedman**, Freedman Urban Solutions  
**Mario Patitucci**, Adesso Design Inc.  
**Jackie VanderVelde**, Land Art Design Landscape Architects Inc.  
**Tim Smith**, Urban Strategies Inc.

### Staff Present:

**Jason Thorne**, General Manager  
**Shannon Mckie**, Senior Project Manager, Urban Team  
**Victoria Cox**, Urban Designer, Urban Team  
**Max Kerrigan**, Urban Designer, Urban Team  
**Sean Stewart**, Planner II, Urban Team (Presenting on behalf of Daniel Barnett)  
**Melanie Pham**, Planner I, Community Planning (Presenting on behalf of Michael Davis)

### Others Present

<b>Presentation #1</b> <b>Mixed Use Development</b> 434 King Street West	<b>Stan Szaflarski</b> , Archway and Associates Architects <b>Serena Valles</b> , Archway and Associates Architects <b>Harry White</b> , Lyrical Investments Inc. <b>Paul Vermaat</b>
<b>Presentation #2</b> <b>iConnect Community Plan</b> <b>Urban Design Guidelines</b> 522 Highway 6, 30 & 40 Horseshoe Crescent and 30 Highway 5 East	<b>Dana Anderson</b> , MHBC Planning <b>Gerry Tchisler</b> , MHBC Planning <b>David Moore</b> , WZMH Architects <b>John A. Krpan</b> , Krpan Group

### Regrets:

**Ute Maya-Giambattista**, Fotenn Planning + Design (Panel Member)  
**Yasin Visram**, Perkins + Will Canada (Panel Member)  
**James Webb**, Webb Planning Inc. (Panel Member)



**Confirmation of Minutes:** Minutes were confirmed.

**Declaration of Interest:** N/A

## Schedule:

Start Time	Address	Type of Application	Applicant/ Agent	Development Planner
2:45 p.m.	<b>Mixed Use Development</b> 434 King Street West	Pre-consultation	Owner: Lyrical Investments Inc.  Agent and Presentation: Archway & Associates Architects	Daniel Barnett, Planner II
4:00 p.m.	<b>iConnect Community Plan Urban Design Guidelines</b> 522 Highway 6, 30 & 40 Horseshoe Crescent and 30 Highway 5 East	Plan of Subdivision, Official Plan Amendment & Zoning By-law Amendment  25T-2019005, UHOPA 19-012 & ZAC 19-044	Owner: The Krpan Group  Agent and Presentation: MHBC Planning & WZMH Architects	Michael Davis, Senior Planner

## Summary of Comments:

**Note: The Design Review Panel is strictly an advisory body and makes recommendations to Planning Division staff. These comments should be reviewed in conjunction with all comments received by commenting agencies and should be discussed with Planning Division staff prior to resubmission.**

### 1. 434 King Street West

#### Development Proposal Overview

The applicant is proposing to renovate the existing theatre and commercial entertainment venue to create commercial opportunities in the former lobby and second floor. Additionally, three storeys are proposed over the front portion of the existing two storey building to create a five storey building, with six dwelling units. The subject property is located on the north side of King Street West, between Pearl Street North and Locke Street North. There is an institutional use (Erskine Presbyterian Church) to the north, single residential dwellings to the east, a commercial building (retail) with surface parking to the south and a commercial building (office) to the west.

### 3 Key Questions to the Panel from Planning Staff

1. Does the proposal complement the existing massing patterns, rhythm, character, colour and surrounding context?
2. Does the proposal enhance the sense of community pride and identification by creating and maintaining unique places?
3. Does the proposal complement and animate existing surroundings through building design and placement as well as through placement of pedestrian amenities?

### Panel Comments and Recommendations

#### a) Overview and Response to Context (Questions 1, 2 & 3)

- The panel unanimously agrees that the project is admirable and appreciates the revival of the theater and venue space. The panel notes that the applicant and design team have all the right intentions to make this space a community hub with the smart and valuable mix of programs within the building.
- The panel struggles to understand the art deco style and stone veneer approach to the exterior of the building, noting that style is not characteristic of the original building façade or the surrounding neighbourhood. Although there are elements reminiscent of art deco, the façade is too busy overall and lacks the elegance of art deco. A simpler architectural approach with brick is recommended.

#### b) Built Form and Character (Questions 1 & 2)

- The panel recommends maintaining the original building style by refurbishing and reusing the classic Hamilton brick that exists on the front façade for at least the first two storeys. Another option is to remove the brick entirely and apply real brick sized masonry to better complement the scale and character of other buildings in the neighbourhood.
- The panel notes that the lintels and cornice line above the second story are significant details that should be highlighted and preserved. The panel agrees that the first two storeys should better match the character of the neighbourhood, while the upper storeys could have newer and more contemporary elements.
- The small balconies on the third and fourth storeys clutter the façade, consider eliminating them. If they remain, they should be fully recessed (i.e., flush with the front façade).



- The panel notes that stepping back only the outside units on the top floor to create terraces, and not stepping back the interior units, would give the building more verticality and elegance.
- The panel recommends removing the railing at the top of the building or pushing the railing back for a more classic building edge.
- One panel member suggests the possibility of adding another storey as it would be permitted under the current zoning (up to 22 metres) but understands there are structural limitations and parking restrictions.

**c) Site Layout and Circulation**

- One panel member notes that they accept the argument for zero parking spaces based on the number of units and proximity to the future LRT.
- The panel appreciates the space planning and layout inside of the building.

**d) Streetscape and the Pedestrian Realm (Question 3)**

- The panel notes that there is not much space at grade for street trees, furniture, etc. and acknowledge that the future LRT along King Street may dictate the streetscape components.

**e) Landscape Strategy - N/A**

**f) Sustainability**

- The panel appreciates the sustainability features included in the proposal.

**Summary**

The panel thanks the applicant and design team for a clear presentation and comprehensive submission. These types of proposals, those that celebrate Hamilton's history while combining innovative new ideas, are a pleasure to review. As mentioned above, some work is needed to declutter the overall building appearance and respect historic materiality. With architectural refinements, it promises to be a fantastic project that enhances the neighbourhood and the City.